VIEW OF SHOPTOP HOUSING

ARCHITECTURAL DRAWINGS FOR WEST TALBINGO VILLAGE MASTERPLAN CONCEPT

LOT 35 DP 878862 MILES FRANKLIN DRIVE TALBINGO NSW

At West Talbingo Village, we've developed a masterplan for urban living that blends convenient amenity with beautiful native habitat.

Talbingo West has been designed to be sensitive to the architectural style of the existing Talbingo township. This community focused project to be established over time aims to create a positive context for the future, bringing amenity and economic benefit to the local area.

The low density, medium and mixed-use precints offer residents a place to live comfortably - with everything they need in close proximity.

The township design merges into the fabric of the existing street layout, reconnecting precints of the town and providing a greater amenity for the community.

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

COVER PAGE

DRAWING NUMBER

CP

SCALE

NTS

SERVICES PROVIDED BY

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SUITE 303, 61 MARLBOROUGH ST
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18 BAY RD SANDRINGHAM VIC 3191

REGISTERED ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930

DRAWING SCHEDULE

ARCHITECTURAL DRAWINGS

CP	COVER PAGE	-
DS	DRAWING SCHEDULE	-
IMG 01	PROPOSED IMAGE 01	-
IMG 02	PROPOSED IMAGE 02	-
IMG 03	PROPOSED IMAGE 03	-
IMG 04	PROPOSED IMAGE 04	-
PL 01	SITE ANALYSIS PLAN	-
PL 02	PROPOSED LOT DEVELOPMENT PLAN	1.2500
PL 03	PROPOSED MASTERPLAN CONCEPT SITE PLAN	1.2500
PL 04	PROPOSED MASTERPLAN CONCEPT LAND USE AND ZONE PLAN	1.2500
PL 05	PROPOSED MASTERPLAN CONCEPT LOT AREAS PLAN	1.2500
PL 06	PROPOSED MASTERPLAN CONCEPT FSR AND HEIGHT LIMITS PLAN	1.2500
PL 07	PROPOSED MASTERPLAN CONCEPT VEHICLE ACCESS PLAN	1.2500
PL 08	PROPOSED MASTERPLAN CONCEPT PEDESTRIAN ACCESS AND BICYCLE PATH PLAN	1.2500
PL 09	PROPOSED MASTERPLAN CONCEPT LANDSCAPE PLAN	1.2500
PL 10	AREAS SCHEDULE SHOPTOP HOUSING AND HOTEL	-
PL 11	AREAS SCHEDULE TOWNHOUSES	-
PL 12	PROPOSED SHOPTOP HOUSING	-
PL 13	PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE	-
PL 14	PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE	-
PL 15	PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE	-
PL 16	PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE	-
PL 17	PROPOSED SHOPTOP HOUSING TYPICAL ELEVATIONS	1.200
PL 18	PROPOSED SHOPTOP HOUSING TYPICAL GROUND FLOOR PLAN	1.150
PL 19	PROPOSED SHOPTOP HOUSING TYPICAL FIRST FLOOR PLAN	1.150
PL 20	PROPOSED SHOPTOP HOUSING TYPICAL SECOND FLOOR PLAN	1.150
PL 21	PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES)	-
PL 22	PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) ELEVATIONS	1.200
PL 23	PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) FLOOR PLANS	1.200
PL 24	PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) FLOOR PLANS	1.100
PL 25	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	-
PL 26	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	-
PL 27	PROPOSED SINGLE DWELLING DESIGN GUIDELINES	-
PL 28	PROPOSED SINGLE DWELLING DESIGN GUIDELINES SMALL MODULE OPTION (1 MODULE)	1.200
PL 29	PROPOSED SINGLE DWELLING DESIGN GUIDELINES MEDIUM MODULE OPTION (2 - 3 MODULES)	1.200
PL 30	PROPOSED SINGLE DWELLING DESIGN GUIDELINES MEDIUM MODULE OPTION (3 - 4 MODULES)	1.200
PL 31	PROPOSED SINGLE DWELLING DESIGN GUIDELINES MEDIUM MODULE OPTION (4 - 5 MODULES)	1.200
PL 32	PROPOSED HOTEL	-
PL 33	PROPOSED HOTEL IMAGE 01	-
PL 34	PROPOSED HOTEL IMAGE 02	-
PL 35	PROPOSED HOTEL IMAGE 03	-
PL 36	PROPOSED HOTEL ELEVATION	1.750
PL 37	PROPOSED HOTEL GARAGE BASEMENT FLOOR PLAN	1.750
PL 38	PROPOSED HOTEL GROUND FLOOR PLAN	1.750
PL 39	PROPOSED HOTEL FIRST AND SECOND FLOOR PLANS	1.750
PL 40	PROPOSED SITE SECTIONS	1.2500
SH 01	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 9AM	1.2500
SH 02	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 12PM	1.2500
SH 03	PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 3PM	1.2500
SH 04	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 9AM	1.2500
SH 05	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 12PM	1.2500
SH 06	PROPOSED SHADOW DIAGRAMS 21 JUNE AT 3PM	1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

DRAWINGS SCHEDULE

DRAWING NUMBER

DS

SCALE

NTS

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NSW 8367
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PROPOSED IMAGE 01

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MASTERPLAN CONCEPT DRAWINGS

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PROPOSED IMAGE 02

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED IMAGE 02

DRAWING NUMBER

IMG 02

SCALE

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PROPOSED IMAGE 03

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED IMAGE 03

DRAWING NUMBER

IMG 03

SCALE

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PROPOSED IMAGE 04

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED IMAGE 04

DRAWING NUMBER

IMG 04

SCALE

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SITE ANALYSIS PLAN
NTS

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
SITE ANALYSIS PLAN

DRAWING NUMBER
PL 01

SCALE
NTS

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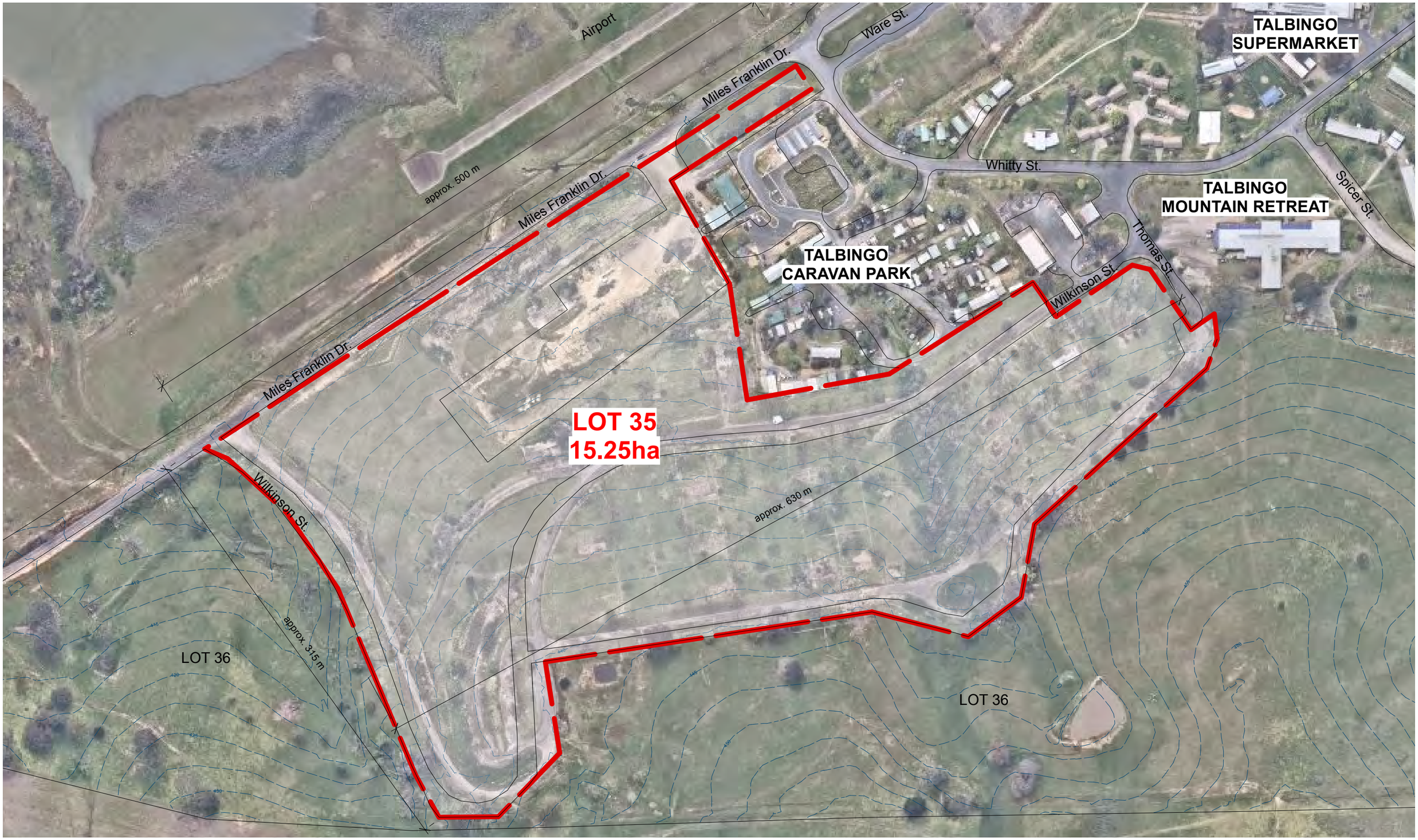

PROPOSED LOT DEVELOPMENT PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED LOT DEVELOPMENT PLAN

DRAWING NUMBER
PL 02

SCALE
1.2500

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JOUNAMA PONDAGE

Airport

Miles Franklin Dr.

Ware St.

TALBINGO SUPERMARKET

Parking

Trailer boat parking

Whitty St.

TALBINGO MOUNTAIN RETREAT

Spicer St.

Thomas St.

TALBINGO CARAVAN PARK

10 LOTS approx 320 s.qm

7 LOTS approx 370 s.qm

Wilkinson St.

S1

S2

HOTEL

Parking

7 LOTS approx 370 s.qm

15 LOTS approx 325 s.qm

Corso

LOT 35

12 LOTS approx 360 s.qm

S2

19 LOTS approx 400s.qm

Wilkinson St.

Parking

LOT 36

S3

Corso

Parking

12 LOTS approx 380 s.qm

S3

S1

Future road to Lot 36

LOT 36

Existing grassed field

PROPOSED MASTERPLAN CONCEPT SITE PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT SITE PLAN

DRAWING NUMBER

PL 03

SCALE

1.2500

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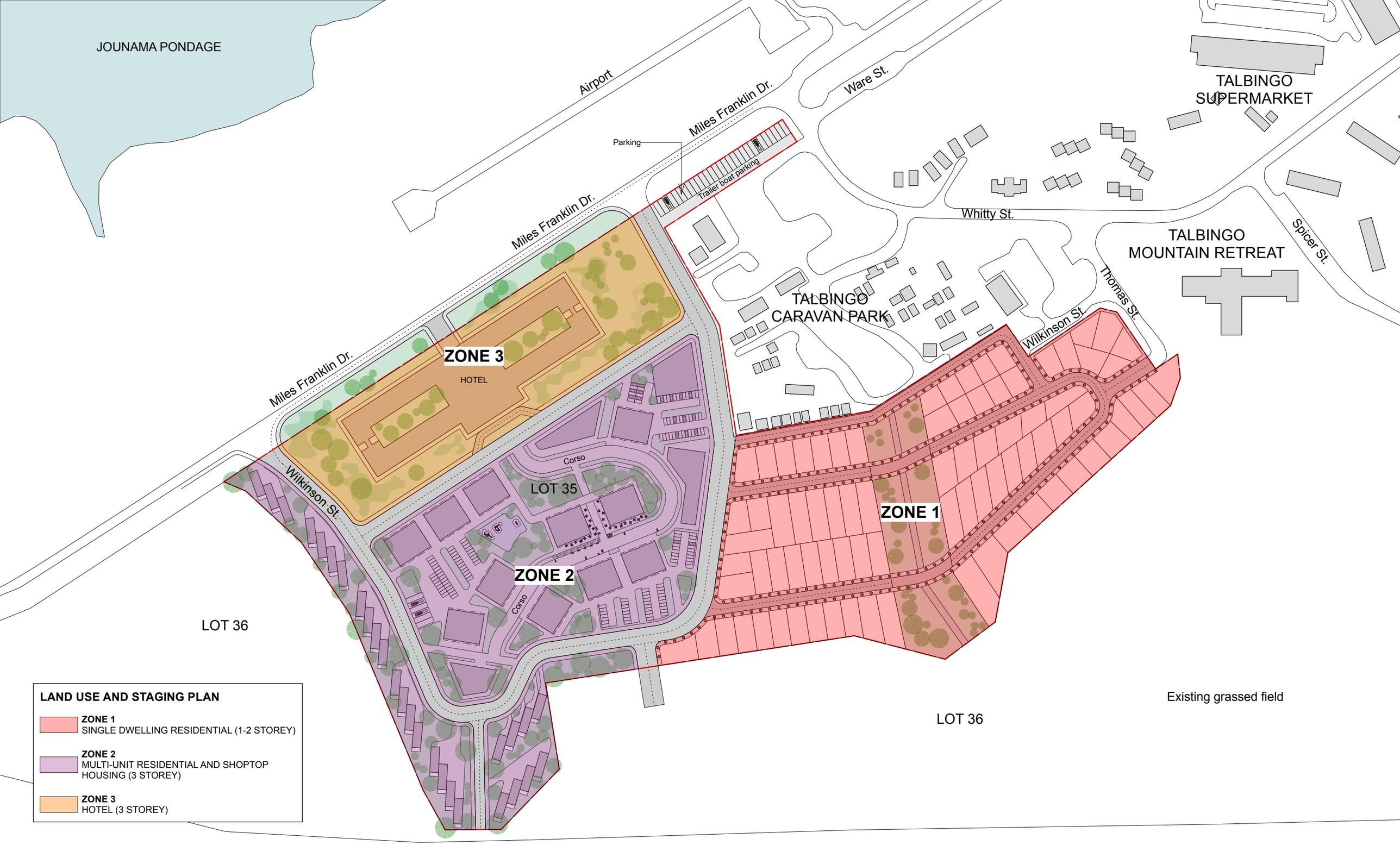

LAND USE AND STAGING PLAN

ZONE 1
SINGLE DWELLING RESIDENTIAL (1-2 STOREY)

ZONE 2
MULTI-UNIT RESIDENTIAL AND SHOPTOP HOUSING (3 STOREY)

ZONE 3
HOTEL (3 STOREY)

PROPOSED MASTERPLAN CONCEPT LAND USE AND ZONE PLAN

1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED MASTERPLAN CONCEPT LAND USE AND ZONE PLAN

DRAWING NUMBER
PL 04

SCALE
1.2500

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PROPOSED MASTERPLAN CONCEPT
LOT AREAS PLAN
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED MASTERPLAN CONCEPT LOT AREAS PLAN

DRAWING NUMBER
PL 05

SCALE
1.2500

N

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PROPOSED MASTERPLAN CONCEPT FSR AND HEIGHT LIMITS PLAN

1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT FSR AND HEIGHT LIMITS PLAN

DRAWING NUMBER

PL 06

SCALE

1.2500

N

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JOUNAMA PONDAGE

Airport

Miles Franklin Dr.

Ware St.

TALBINGO SUPERMARKET

Whitty St.

TALBINGO MOUNTAIN RETREAT

Spicer St.

TALBINGO CARAVAN PARK

Thomas St.

Wilkinson St.

Connection to existing street plan

Parking Under

Drop off zone

LOT 35

LOT 36

Connection to Future Lot 36 development

LOT 36

Existing grassed field

VEHICLE ACCESS

- Main Road
- Access Road
- Local Access
- Parking Access
- Parking

PROPOSED MASTERPLAN CONCEPT VEHICLE ACCESS PLAN

1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT VEHICLE ACCESS PLAN

DRAWING NUMBER

PL 07

SCALE

1.2500

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UK 072397E

ABN 96 630 851 930

PROPOSED MASTERPLAN CONCEPT PEDESTRIAN ACCESS AND BICYCLE PATH PLAN

1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED MASTERPLAN CONCEPT PEDESTRIAN ACCESS AND BICYCLE PATH PLAN

DRAWING NUMBER
PL 08

SCALE
1.2500

N

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PROPOSED MASTERPLAN CONCEPT LANDSCAPE PLAN

1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MASTERPLAN CONCEPT LANDSCAPE PLAN

DRAWING NUMBER

PL 09

SCALE

1.2500

N

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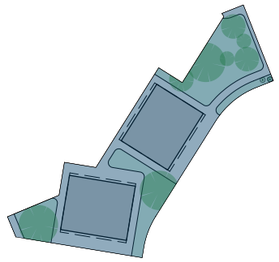
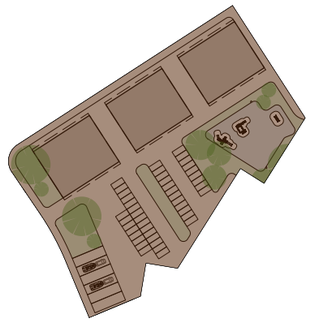
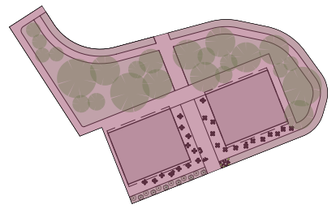


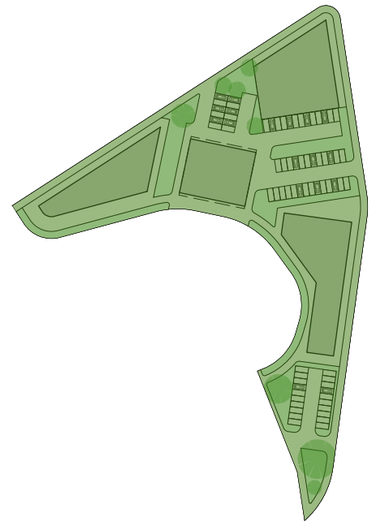
LOT 1
SITE AREA = 3760.00 sq.m COMMERCIAL AREA = 505.20 sq.m RESIDENTIAL AREA = 1765.60 sq.m TOTAL FLOOR AREA = 2270.80 sq.m FSR = 0.6:1 CAR SPACES = 40



LOT 2
SITE AREA = 7775.00 sq.m COMMERCIAL AREA = 757.80 sq.m RESIDENTIAL AREA = 2648.40 sq.m TOTAL FLOOR AREA = 3406.20 sq.m FSR = 0.43:1 CAR SPACES = 104

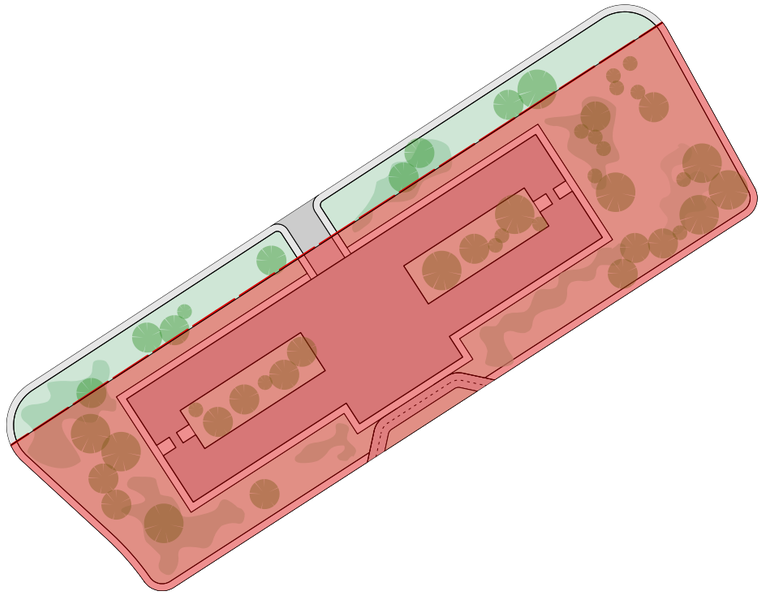


LOT 3
SITE AREA = 5837.00 sq.m COMMERCIAL AREA = 505.20 sq.m RESIDENTIAL AREA = 1765.60 sq.m TOTAL FLOOR AREA = 2260.80 sq.m FSR = 0.38:1 CAR SPACES = 40



LOT 4
SITE AREA = 10155.00 sq.m COMMERCIAL AREA = 1910.80 sq.m RESIDENTIAL AREA = 4199.20 sq.m TOTAL FLOOR AREA = 6110.00 sq.m FSR = 0.60:1 CAR SPACES = 104

LOT 5
SITE AREA = 8633.00 sq.m COMMERCIAL AREA = 1108.45 sq.m RESIDENTIAL AREA = 3349.65 sq.m TOTAL FLOOR AREA = 4458.10 sq.m FSR = 0.52:1 CAR SPACES = 95



LOT 13
SITE AREA = 25929.00 sq.m TOTAL FLOOR AREA = 12517.00 sq.m sq.m FSR = 0.48:1 CAR SPACES = 264

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

AREAS SCHEDULE SHOPTOP HOUSING AND HOTEL

DRAWING NUMBER

PL 10

SCALE

NTS

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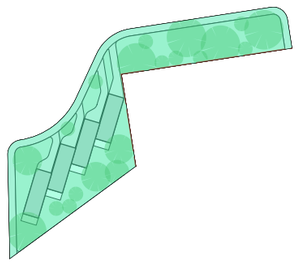
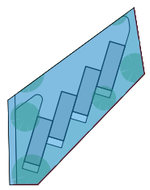
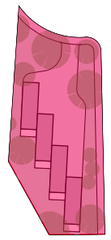


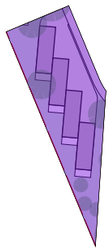
LOT 6
SITE AREA = 3594.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.2:1 CAR SPACES = 16



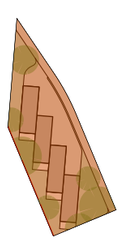
LOT 7
SITE AREA = 2016.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.37:1 CAR SPACES = 16



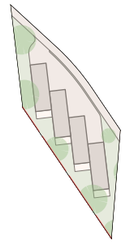
LOT 8
SITE AREA = 2873.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.26:1 CAR SPACES = 16



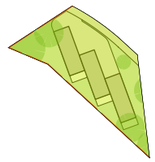
LOT 9
SITE AREA = 1871.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.39:1 CAR SPACES = 16



LOT 10
SITE AREA = 1904.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.39:1 CAR SPACES = 16



LOT 11
SITE AREA = 1855.00 sq.m TOTAL FLOOR AREA = 746.20 sq.m FSR = 0.40:1 CAR SPACES = 16



LOT 12
SITE AREA = 1455.00 sq.m TOTAL FLOOR AREA = 559.65 sq.m FSR = 0.38:1 CAR SPACES = 12

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

AREAS SCHEDULE TOWNHOUSES

DRAWING NUMBER

PL 11

SCALE

NTS

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REGISTERED ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930

Village Centre area comprising Lots 1 - 5

PROPOSED SHOPTOP HOUSING

Typical view with commercial tenancies on ground floor and residential apartments on level 1 and level 2

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING

DRAWING NUMBER

PL 12

SCALE

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PART 3 - SITTING THE DEVELOPMENT	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
3A. Site Analysis	3A-1. Site Analysis illustrates that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context		The proposed development has been designed as a response to the landmark position of the site with the landscape	YES
3B. Orientation	3B-1. Building types and layouts respond to the streetscape and site while optmising solar access within the development		The proposed layout has been proposed taking into account the site proportions, streetscape and slope, providing pedestrian and car access from Miles Franklin Drive as well as Wilkinson Street and any future roads	YES
	3B-2. Overshadowing of neighbouring properties is minimised during mid winter		The site slope, the way the buildings are set up and the height limits alllow for a minimum amount of shadow during winter months	YES
3C. Public Domain Interface	3C-1. Transition between private and public domain is achieved without compromising safety and security		Private dwellings within the development are provided with separate access.	YES
	3C-2. Amenity of the public domain is retained and enhanced		Amenity of the public domain is enhanced across the whole site by streetscape activation	YES
3D. Communal and Public Open Space	3D-1. An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping	1. Communal open space has a minimum area equal to 25% of the site 2. Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9am and 3pm on 21 June (mid winter)	There is a considerable amount of communal and open space across the site and in between buildings, providing opportunities for landscaping	YES
	3D-2. Communal open space is designed to allow for range of activities, respond to site conditions and be attractive and inviting		There is a considerable amount of communal space in between buildings allowing for attractive and inviting activities	YES
	3D-3. Communal open space is designed to maximise safety		The buildings layout allows for a mixed commercial and residential use, maximising safety, as well as making sure it's distant enough from the main road	YES
	3D-4. Public open space, where provided, is responsive to the existing pattern and uses of the neighbourhood		The site is designed responding to the existing landscape and slope, allowing public open spaces to make the best use of the neighbourhood	YES

PART 3 - SITTING THE DEVELOPMENT	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
3E. Deep soil zone	3E-1. Deep soil zones provide areas on the site that allow for and support healthy plant and tree growth. They improve residential amenity and promote management of water and air quality	1. Deep soil zones are to meet the following minimum requirements Site area / Minimum dimensions / Deep soil zone (% of site area) less than 650m² / - / 7% 650m² - 1,500m² / 3m greater than 1,500m² / 6m greater than 1,500m² with significant existing tree cover / 6m		--
3F. Visual privacy	3F-1. Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external and internal visual privacy	Separation between windows and balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side and rear boundaries are as follows: Building height / Habitable rooms and balconies / Non-habitable rooms up to 12m (4 storeys) / 6m / 3m up to 25m (5-8 storeys) / 9m / 4.5m over 25m (9+ storeys) / 12m / 6m	The distance between buildings allows compliance with the criteria	YES
	3F-2. Site and building design elements increase privacy without compromising access to light and air and balance outlook and views from habitable rooms and private open space		The distance between buildings as well as orientation allows compliance with the criteria	YES
3G. Pedestrian access and entries	3G-1. Building entries and pedestrian access connects to and addresses the public domain		Multiple entries are provided to each building, allowing as well a separation between the commercial and residential areas. Different entries are identified by front signs	YES
	3G-2. Access, entries and pathways are accessible and easy to identify			YES
	3G-3. Large sites provide pedestrian links for access to streets and connection to destinations			YES
3H. Vehicle access	3H-1. Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes		Each building has a set of car parking spaces and access close which allows for less movement of cars, minimising possible conflicts between pedestrians and vehicles	YES

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE

DRAWING NUMBER

PL 13

SCALE

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PART 3 - SITTING THE DEVELOPMENT	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
3J. Bicycle and car parking	3J-1. Car parking is provided based on proximity to public transport in metropolitan Sydney and centres in regional areas	1. For development in the following locations: - on sites that are within 800m of a railway station or light rail stop in the Sydney Metropolitan Area; or - on land zoned, and sites within 400m of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less. The car parking needs for a development must be provided off street		Not applicable
	3J-2. Parking and facilities are provided for other modes of transport		Bicycle lanes are provided on streets located inside the development and bicycle parking is provided around the site	YES
	3J-3. Car park design and access is safe and secure		Each building has their car parking spaces, allowing for safer movement of cars and pedestrians	YES
	3J-4. Visual and environmental impacts of underground car parking are minimised		No underground car parking provided	Not applicable
	3J-5. Visual and environmental impacts of on-grade car parking are minimised			YES
	3J-6. Visual and environmental impacts of above ground enclosed car parking are minimised		No above ground enclosed car parking provided	Not applicable

PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
4A. Solar and daylight access	4A-1. To optimise the number of apartments receiving sunlight to habitable rooms, primary windows and private open space	1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9am and 3pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas 2. In all other areas, living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 3 hours direct sunlight between 9am and 3pm at mid winter 3. A maximum of 15% of apartments in a building receive no direct sunlight between 9am and 3pm at mid winter		YES
	4A-2. Daylight access is maximised where sunlight is limited			YES
	4A-3. Design incorporates shading and glare control, particularly for warmer months		Balcony overhangs an verandahs are provided throughout	YES
4B. Natural ventilation	4B-1. All habitable rooms are naturally ventilated			YES
	4B-2. The layout and design of single aspect apartments maximises natural ventilation			YES
	4B-3. The number of apartments with natural cross ventilation is maximised to create a comfortable indoor environment for residents	1. At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed 2. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line	The apartments layout and orientation allow cross ventilation to be a feature in all buildings	YES
4C. Ceiling heights	4C-1. Ceiling height achieves sufficient natural ventilation and daylight access	1. Measured from finished floor level to finished ceiling level, minimum ceiling heights are: Minimum ceiling height for apartment and mixed use buildings Habitable rooms: 2.7m Non-habitable: 2.4m For 2 storey apartments: 2.7m for main living area floor; 2.4m for second floor, where its area does not exceed 50% of the apartment area Attic spaces: 1.8m at edge of room with a 30 degree minimum ceiling slope If located in mixed used areas: 3.3m for ground and first floor to promote future flexibility of use These minimums do not preclude higher ceilings if desired	Finished ceiling heights is 2.7 for residential and commercial levels	YES

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE

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PL 14

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PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
4C. Ceiling heights	4C-2. Ceiling height increases the sense of space in apartments and provides for well proportioned rooms		Finished ceiling heights is 2.7 for residential levels	YES
	4C-3. Ceiling heights contribute to the flexibility of building use over the life of the building		Finished ceiling heights is 2.7 for residential levels	YES
4D. Apartment size and layout	4D-1. The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity	1. Apartments are required to have the following minimum internal areas: Studio 35m² 1 bedroom 50m² 2 bedroom 70m² 3 bedroom 90m² The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal areas by 5sq.m each. A fourth bedroom and further additional bedrooms increase the minimum internal area by 12sq.m each. 2. Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms	All apartments comply with the minimum internal areas required	YES
	4D-2. Environmental performance of the apartment is maximised	1. Habitable room depths are limited to a maximum of 2.5 x the ceiling height 2. In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window		YES
	4D-3. Apartment layouts are designed to accommodate a variety of household activities and needs	1. Master Bedrooms have a minimum area of 10sq.m and other bedrooms 9sq.m (excluding wardrobe space) 2. Bedrooms have a minimum dimension of 3m (excluding wardrobe space) 3. Living rooms or combined living/dining rooms have a minimum width of: - 3.6m for studio and 1 bedroom apartments - 4m for 2 and 3 bedroom apartments 4. The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts		YES

PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
4E. Private open space and balconies	4E-1. Apartments provide appropriately sized private open space and balconies to enhance residential amenity	1. All apartments are required to have primary balconies as follows: Studio apartments 4m² - 1 bedroom apartments 8m² 2m 2 bedroom apartments 10m² 2m 3+ bedroom apartments 12m² 2.4m The minimum balcony depth to be counted as contributing to the balcony area is 1m 2. For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15sq.m and a minimum depth of 3m	All apartments comply with the minimum areas and depths required	YES
	4E-2. Primary private open space and balconies are appropriately located to enhance liveability for residents		All balconies are located adjacent to living rooms, dining rooms and bedrooms. All balconies are designed with the longer side facing outwards.	YES
	4E-3. Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building		All balustrades are designed to be 1.1m high and partially solid (steel slats)	YES
	4E-4. Private open space and balcony design maximises safety			YES
4F. Common circulation and spaces	4F-1. Common circulation spaces achieve good amenity and properly service the number of apartments	1. The maximum number of apartments off a circulation core on a single level is eight 2. For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40	The maximum number of apartments off a circulation core on a level is four	YES
	4F-2. Common circulation spaces promote safety and provide for social interaction between residents		The design provides short corridor lengths	YES
4G. Storage	4G-1. Adequate, well designed storage is provided in each apartment	1. In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided: Studio apartments 4m³ 1 bedroom apartments 6m³ 2 bedroom apartments 8m³ 3+ bedroom apartments 10m³ At least 50% of the requirement storage is to be located within the apartment	Not enough storage space is provided	NO

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE

DRAWING NUMBER

PL 15

SCALE

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PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
4S. Mixed use	4S-1. Mixed use developments are provided in appropriate locations and provide active street frontages that encourage pedestrian movement		The development provides commercial and retail uses on the ground floor, that activate frontages that encourage pedestrian movement	YES
	4S-2. Residential levels of the building are integrated within the development, and safety and amenity is maximised for residents		Residential use is located on soley residential floor levels in order to maximise amenity and safety, but is connected to the commercial area of hte building	YES
4T. Awnings and signage	4T-1. Awnings are well located and complement and integrate with the building design		Awnings are located to the north and south whre there are balconies	YES
	4T-2. Signage responds to the context and desired streetscape character		Signage would be designed into the facade with signage plates	YES
4U. Energy efficiency	4U-1. Development incorporates passive environmental design		--	--
	4U-2. Development incorporates passive solar design to optimise heat storage in winter and reduce heat transfer in summer		The building orientation permits good passive design through East and North facades. Southern apartments have been designed to capture also easternly light	YES
	4U-3. Adequate natural ventilation minimises the need for mechnical ventilation		Apartments are provided with openabel windows throughout encouraging natural ventilation	YES
4V. Water management and conservation	4V-1. Potable water use is minimised	Roof and balcony run off, porous and open paving, on-site infiltration	WSUD principles will be integrated into the public space stormwater and building waste water	YES
	4V-2. Urban stormwater is treated on site before being discharged to receiving waters			
	4V-3. Flood management systems are integrated into site design			

PART 4 - DESIGNING THE BUILDING	OBJECTIVES	DESIGN CRITERIA	PROPOSED	COMPLIANCE
4X. Building maintenance	4X-1. Building design detail provides protection from weathering	Design features that protect from weathering and accessible maintenance systems	The building is proposed to be built from high quality robust materials that will age well such as riverstone facing. The design integrates awning and screens that provide protection to wall surfaces. Most walls and windows are accessible at their level or by adjacent balconies	YES
	4X-2. Systems and access enable ease of maintenance		Access systems are to be provided in accordance with BCA and building product maintenance standards	YES
	4X-3. Material selection reduces ongoing maintenance costs		Building materials will be of a standard to ensure long term quality and life	YES

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DATE

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING APARTMENT DESIGN GUIDE

DRAWING NUMBER

PL 16

SCALE

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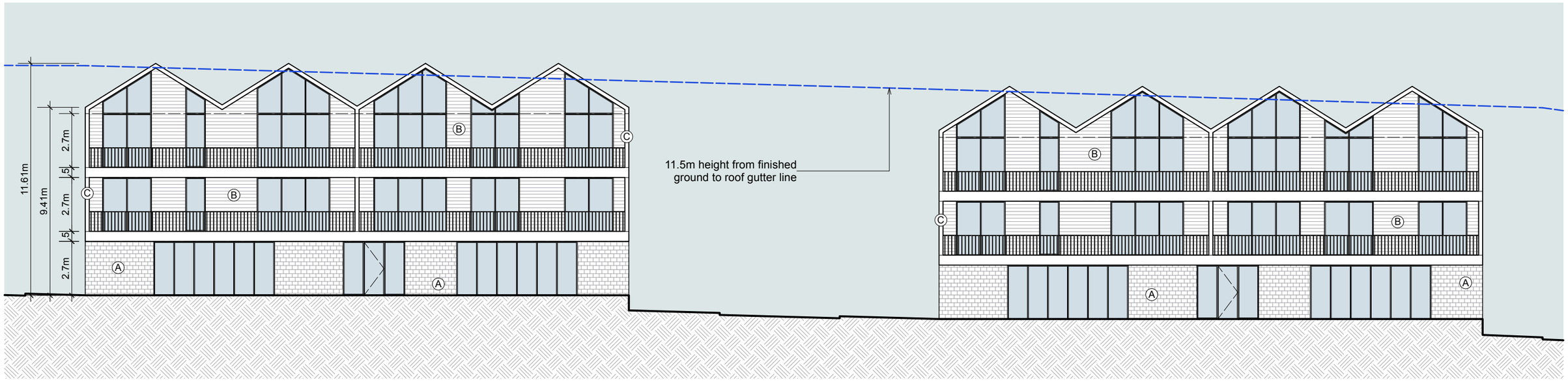

MATERIALS AND FINISHES

Ⓐ NATURAL HONED RIVERSTONE FACING

Ⓑ PAINTED WEATHERTEX WEATHERGROOVE FUSION SMOOTH DULUX 'MT. ASPIRING' HALF

Ⓒ MATT COLORBOND STANDING SEAM CLADDING ON 'BLUEGUM'

PROPOSED SHOPTOP HOUSING
TYPICAL ELEVATION
1.200

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING TYPICAL ELEVATION

DRAWING NUMBER

PL 17

SCALE

1.200

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PROPOSED SHOPTOP HOUSING
TYPICAL GROUND FLOOR PLAN
1.150

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING TYPICAL GROUND FLOOR PLAN

DRAWING NUMBER

PL 18

SCALE

1.150

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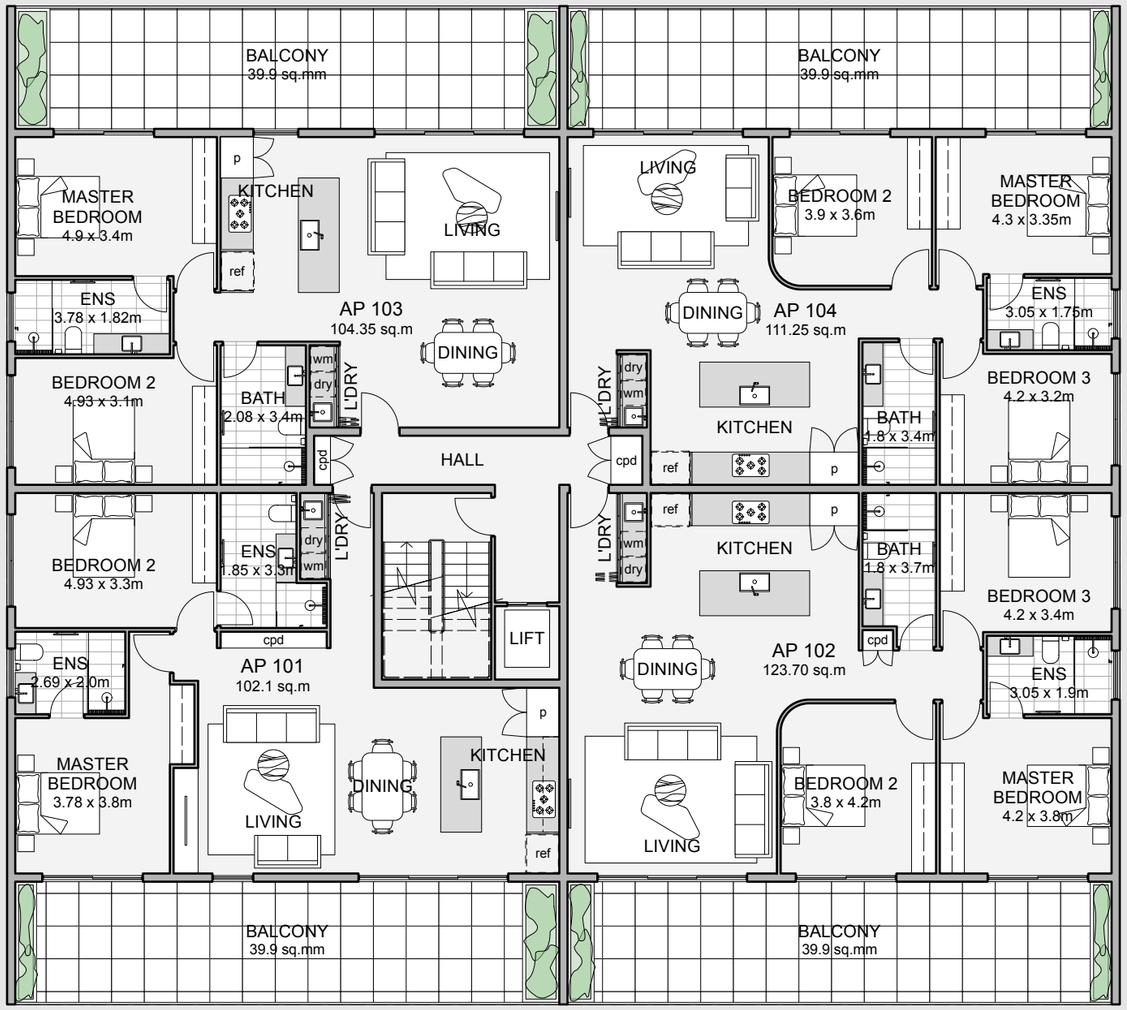

CORSO

PROPOSED SHOPTOP HOUSING
TYPICAL FIRST FLOOR PLAN
1.150

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING TYPICAL FIRST FLOOR PLAN

DRAWING NUMBER

PL 19

SCALE

1.150

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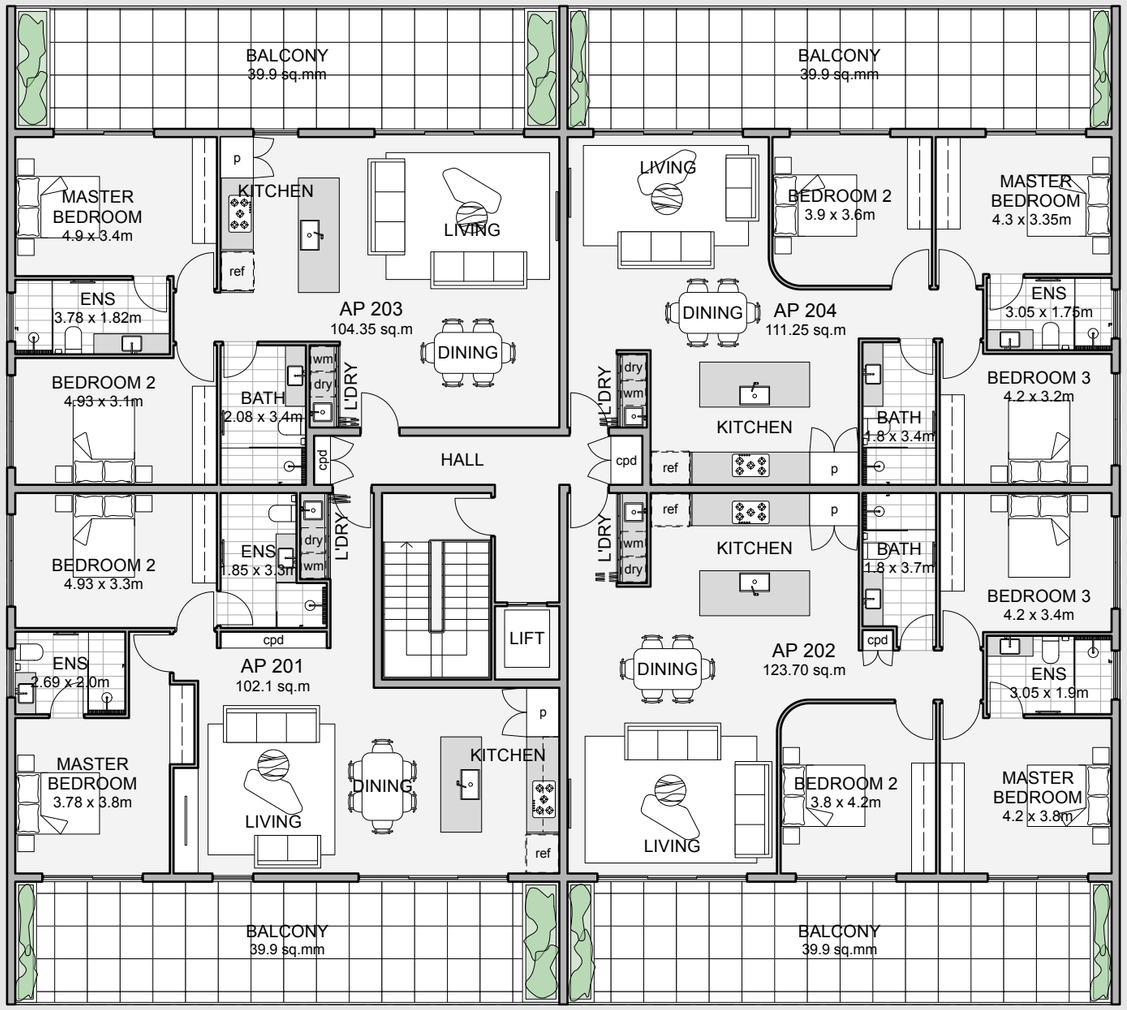

CORSO

PROPOSED SHOPTOP HOUSING
TYPICAL SECOND FLOOR PLAN
1.150

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHOPTOP HOUSING TYPICAL SECOND FLOOR PLAN

DRAWING NUMBER

PL 20

SCALE

1.150

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Western side of Wilkinson Street comprising Lots 6 - 12

PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES)

Typical view with clusters of 4 attached terrace house units with carpark on ground level and two level dwelling above

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES)

DRAWING NUMBER

PL 21

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PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) ELEVATIONS
1.200

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) ELEVATIONS

DRAWING NUMBER
PL 22

SCALE
1.200

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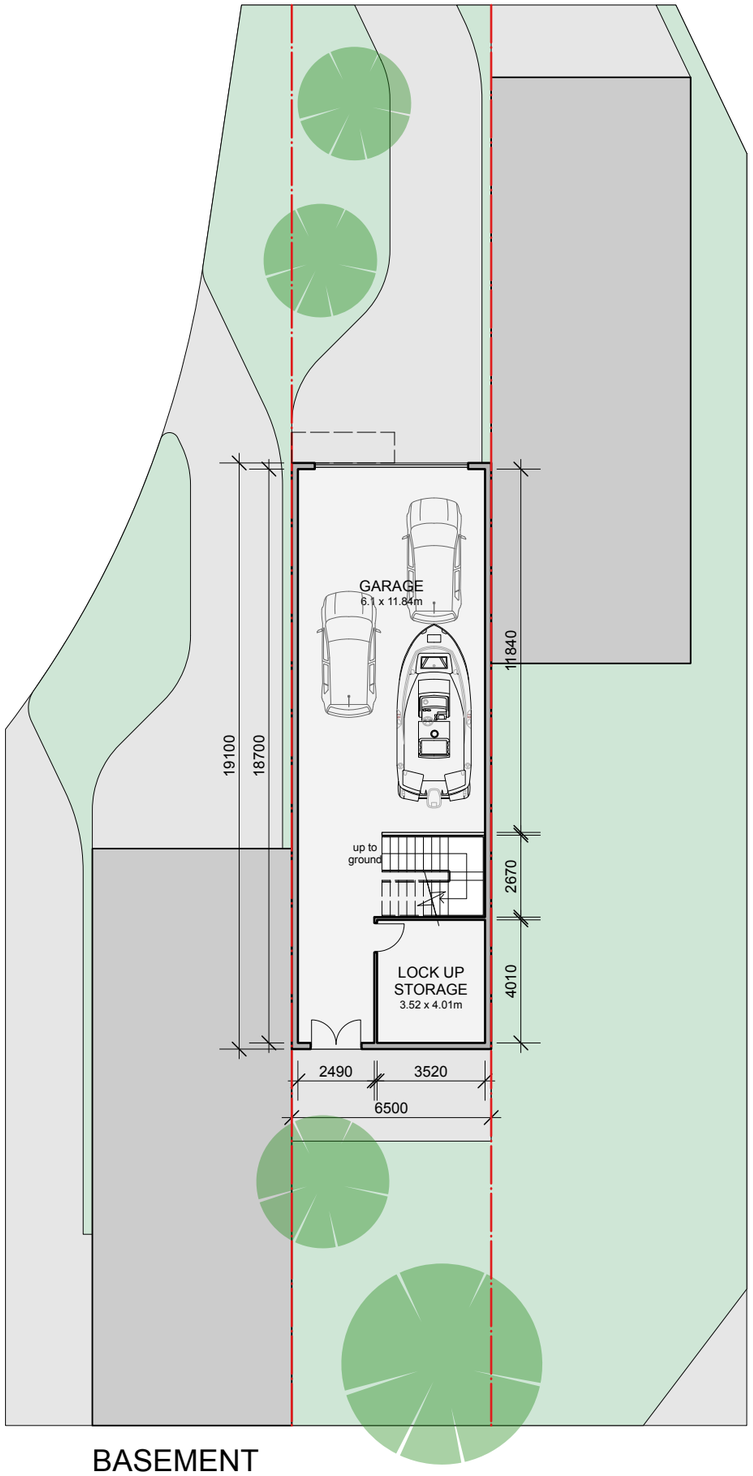
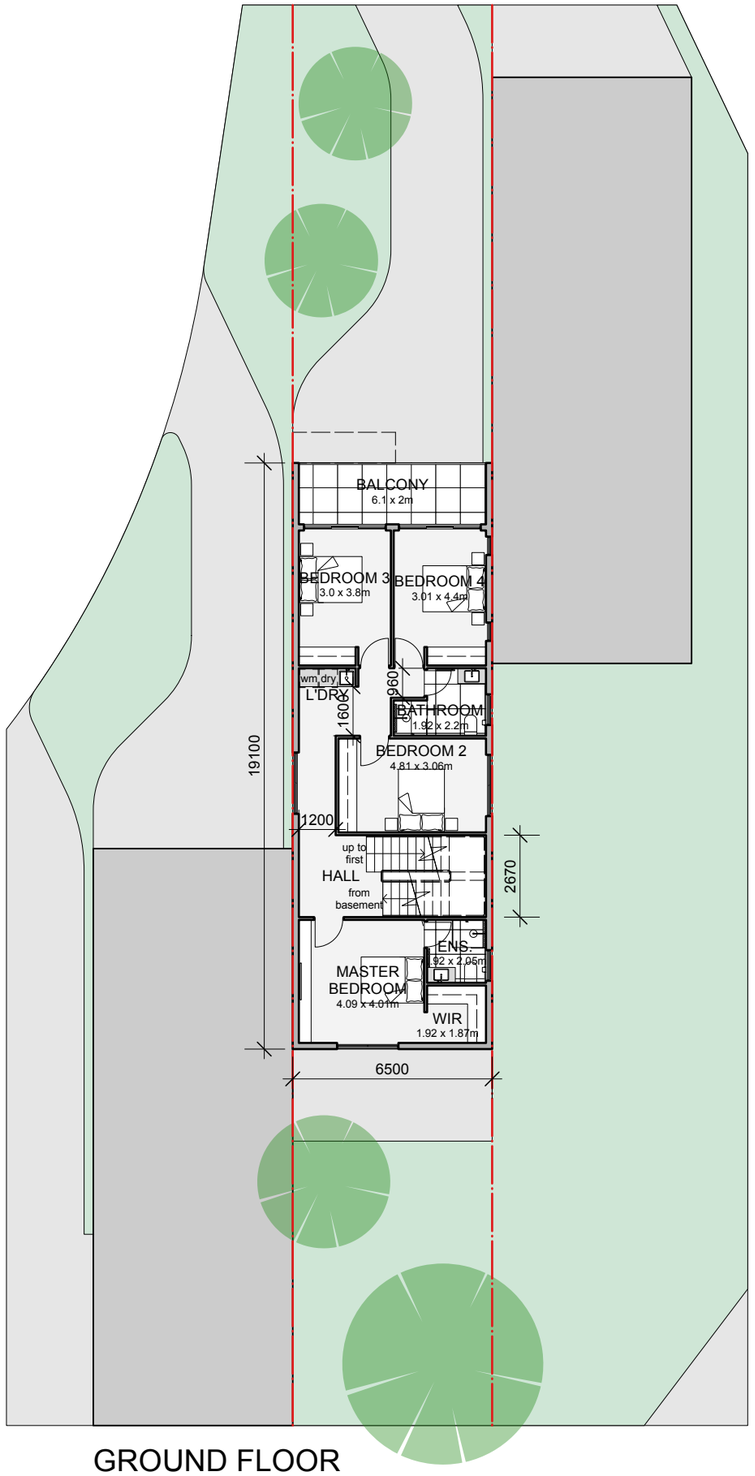
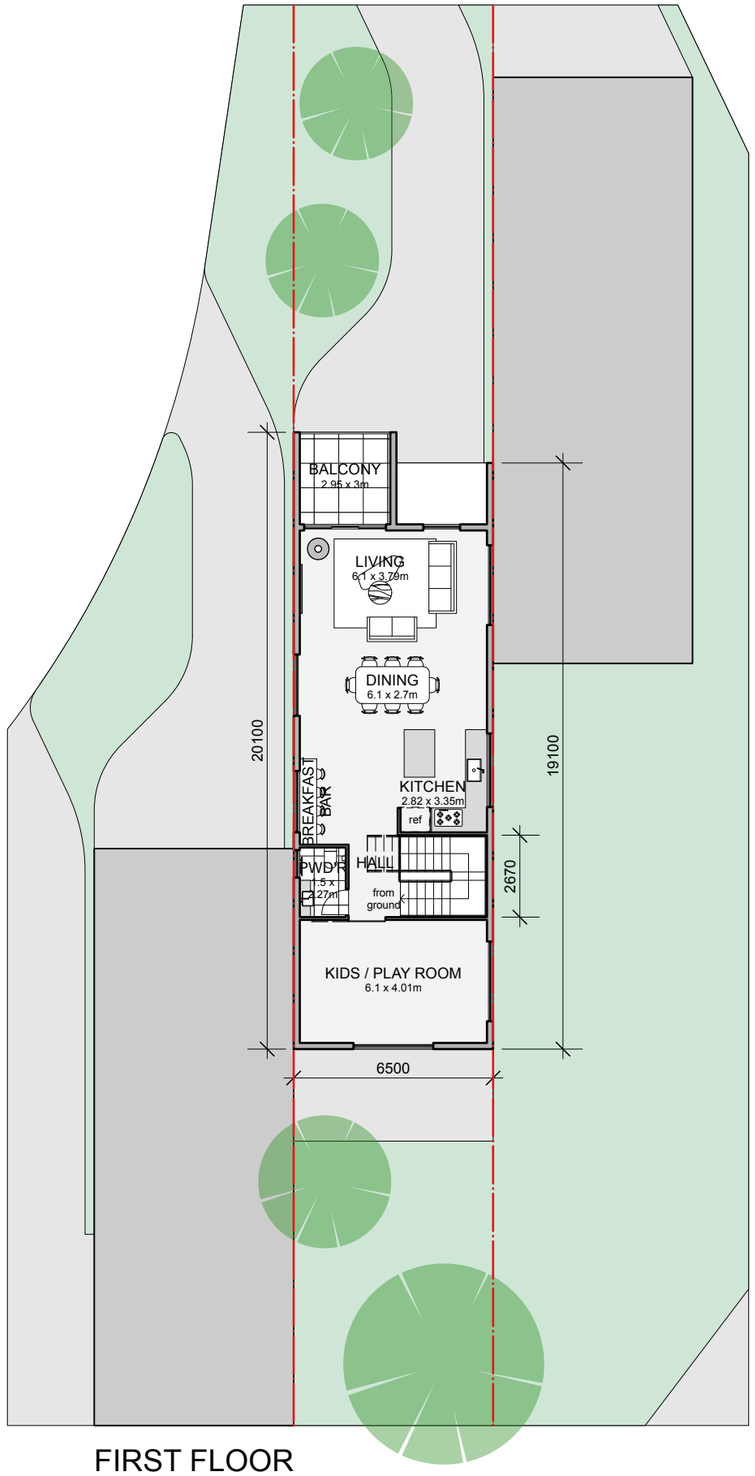


BASEMENT



GROUND FLOOR



FIRST FLOOR

PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) FLOOR PLANS
1.200

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) FLOOR PLANS

DRAWING NUMBER
PL 23

SCALE
1.200

SERVICES PROVIDED BY

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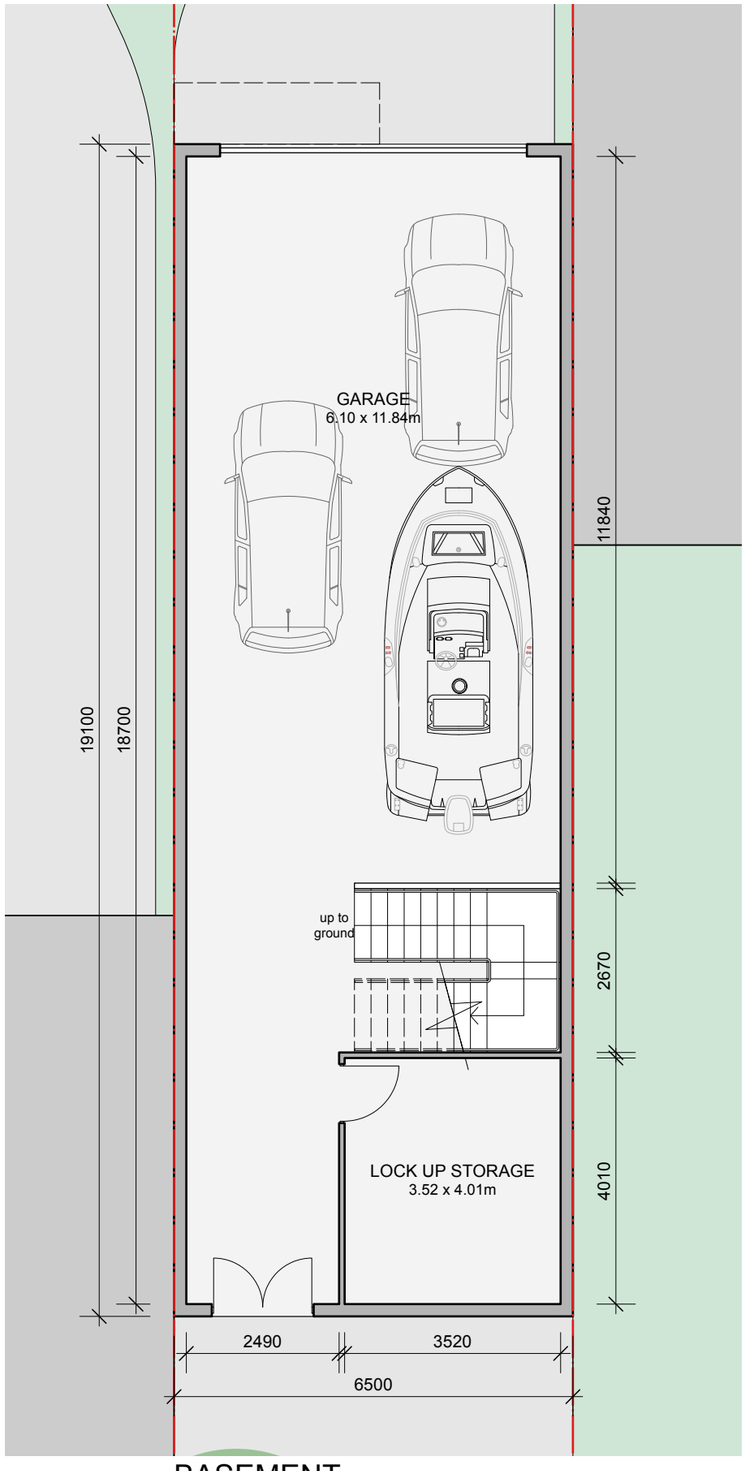
SUITE 303, 61 MARLBOROUGH ST
SURRY HILLS NSW 2010

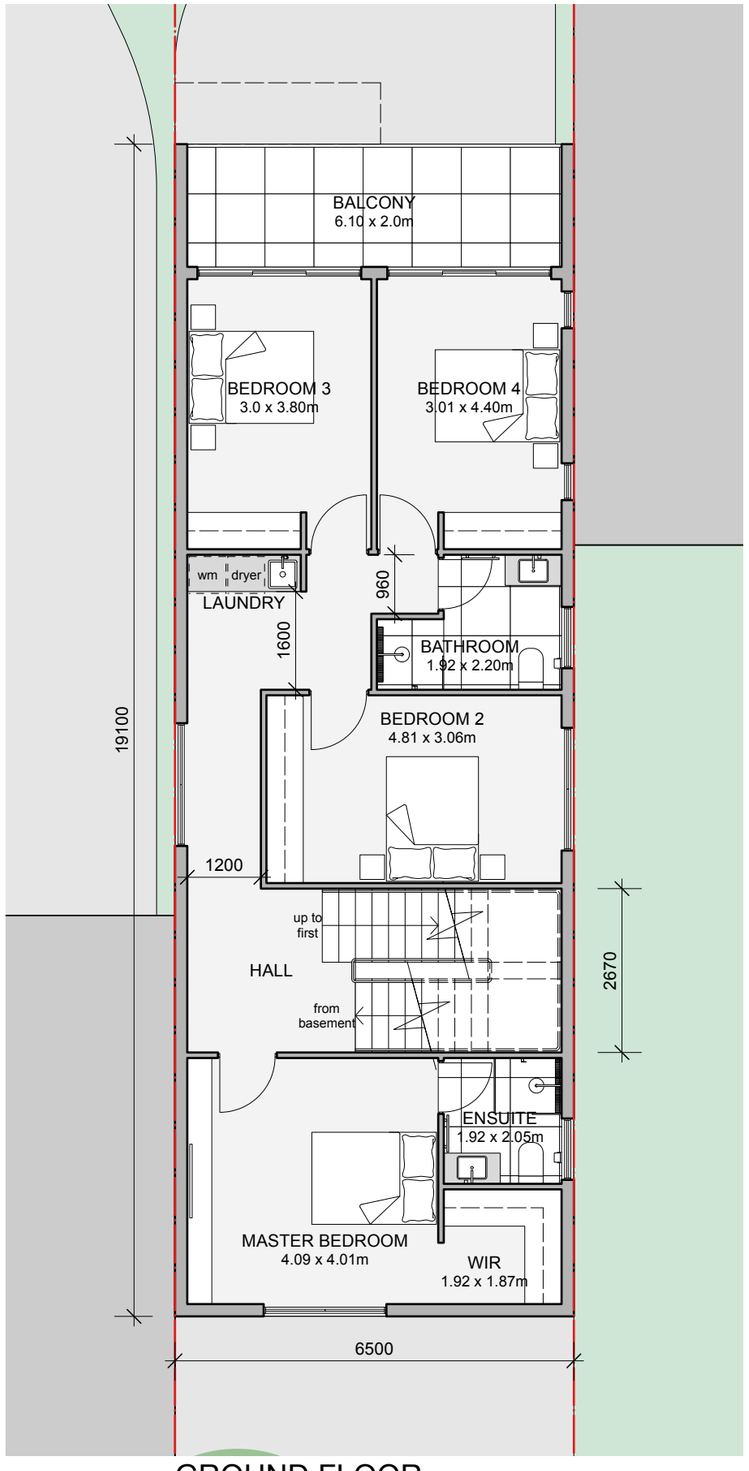
18 BAY RD SANDRINGHAM VIC 3191

REGISTERED ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930



BASEMENT



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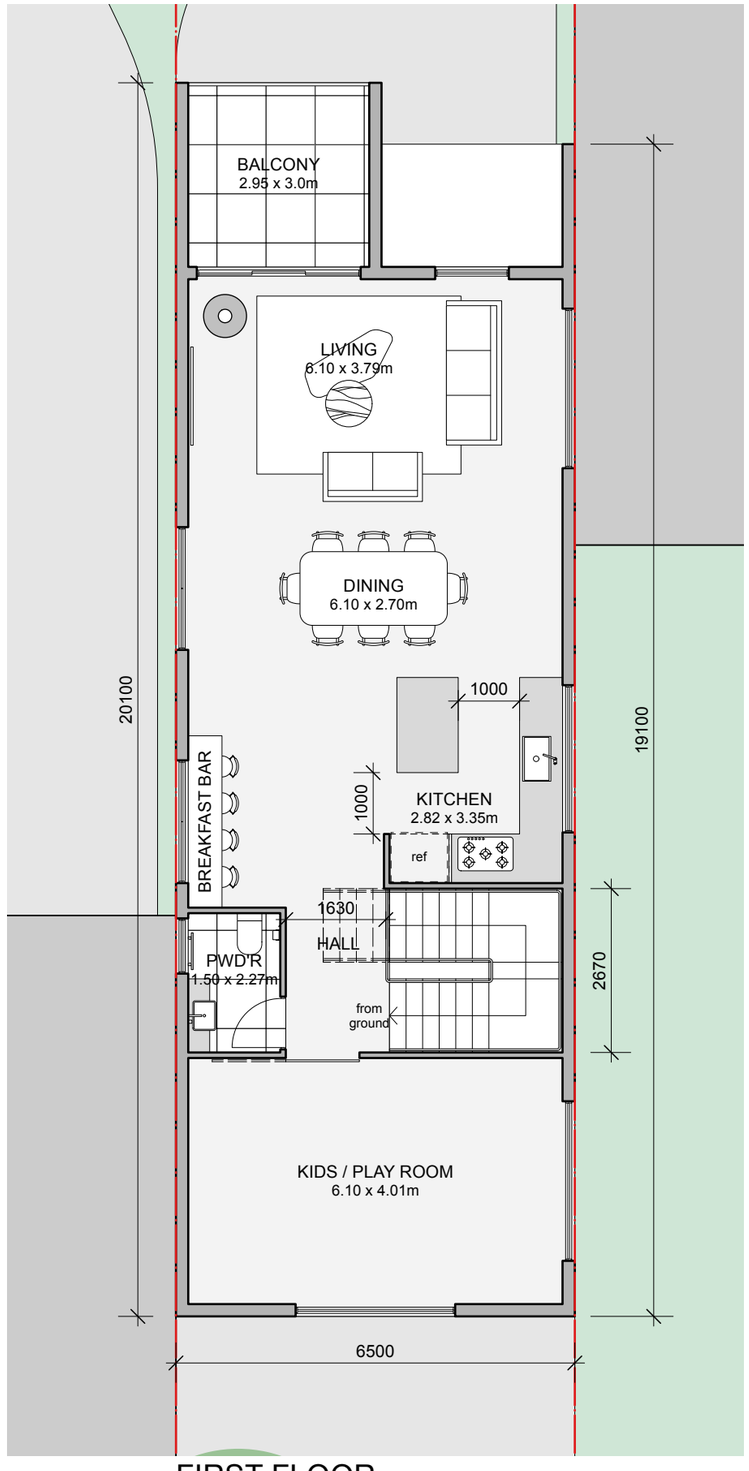

FIRST FLOOR

PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) FLOOR PLANS
1.100

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED MULTI-UNIT DWELLING (TOWNHOUSES) FLOOR PLANS

DRAWING NUMBER

PL 24

SCALE

1.100

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NSW 8367
UK 072397E

ABN 96 630 851 930

SINGLE DWELLING LOT DESIGN GUIDELINES

SITE RESPONSE

ORIENTATION AND SOLAR ACCESS

- Where possible, dwellings should be sited so that living areas and private open spaces face north in order to maximise solar efficiency.
- Only one dwelling is permitted per lot.
- Dual occupancy and further subdivision not allowed.

BUILDING SETBACKS

- Building envelopes have been prepared for each lot and can be found on the Plan of Subdivision. These envelopes specify the area where a building can be sited on the lot, indicating setback requirements and permitted encroachments.

The following setbacks will generally be required:

(DWELLINGS OVER 350 s.qm)
- Front boundary: Dwelling must be setback at least 8.0m. Porches, verandahs and pergolas not exceeding 3.6m in height may encroach into the 8.0m setback.
- Corner boundary: Dwelling must be setback at least 2.0m.
- Rear boundary: Dwelling must be setback at least 4.0m. Eaves, fascia and gutter may encroach into front, side and rear setbacks.

(DWELLINGS UNDER 350 s.qm)
- Front boundary: Dwelling must be setback at least 4.0m. Porches, verandahs and pergolas not exceeding 3.6m in height may encroach into the 4.0m setback.
- Corner boundary: Dwelling must be setback at least 2.0m.
- Rear boundary: Dwelling must be setback at least 2.0m. Eaves, fascia and gutter may encroach into front, side and rear setbacks.

ARCHITECTURAL CHARACTER

FACADE DESIGN

- The design should reflect the architectural character of the surrounding existing Talbingo township. - Front elevations must incorporate windows and other features (such as verandahs, projections, varying roof form and materials) to sufficiently address the street.
- Façade designs must generally reflect a contemporary theme. Overly traditional façades will not be permitted.

ROOF DESIGN

- Only flat roofs OR mono pitched roofs or are permitted.
- Roofs must be constructed from non-reflective corrugated Colorbond or roof tiles in a flat/slim line profile.

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING DESIGN GUIDELINES

DRAWING NUMBER

PL 25

SCALE

NOT TO SCALE

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ABN 96 630 851 930

SINGLE DWELLING LOT DESIGN GUIDELINES

EXTERNAL MATERIALS AND COLOURS

External walls should be constructed from the following materials in colours that reflect **cool natural neutural tones**:

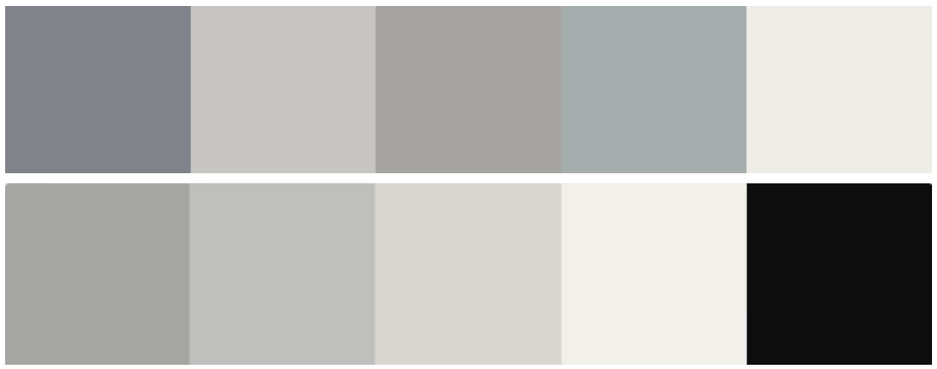
- Face brickwork:
  - Stack bond only;
  - Linear Bricks (eg. non standard sizing).
- Weatherboards/cement composite materials (such as Scyon cladding);
- Timber cladding;
- Selective use of stone, tile or corrugated Colorbond cladding.

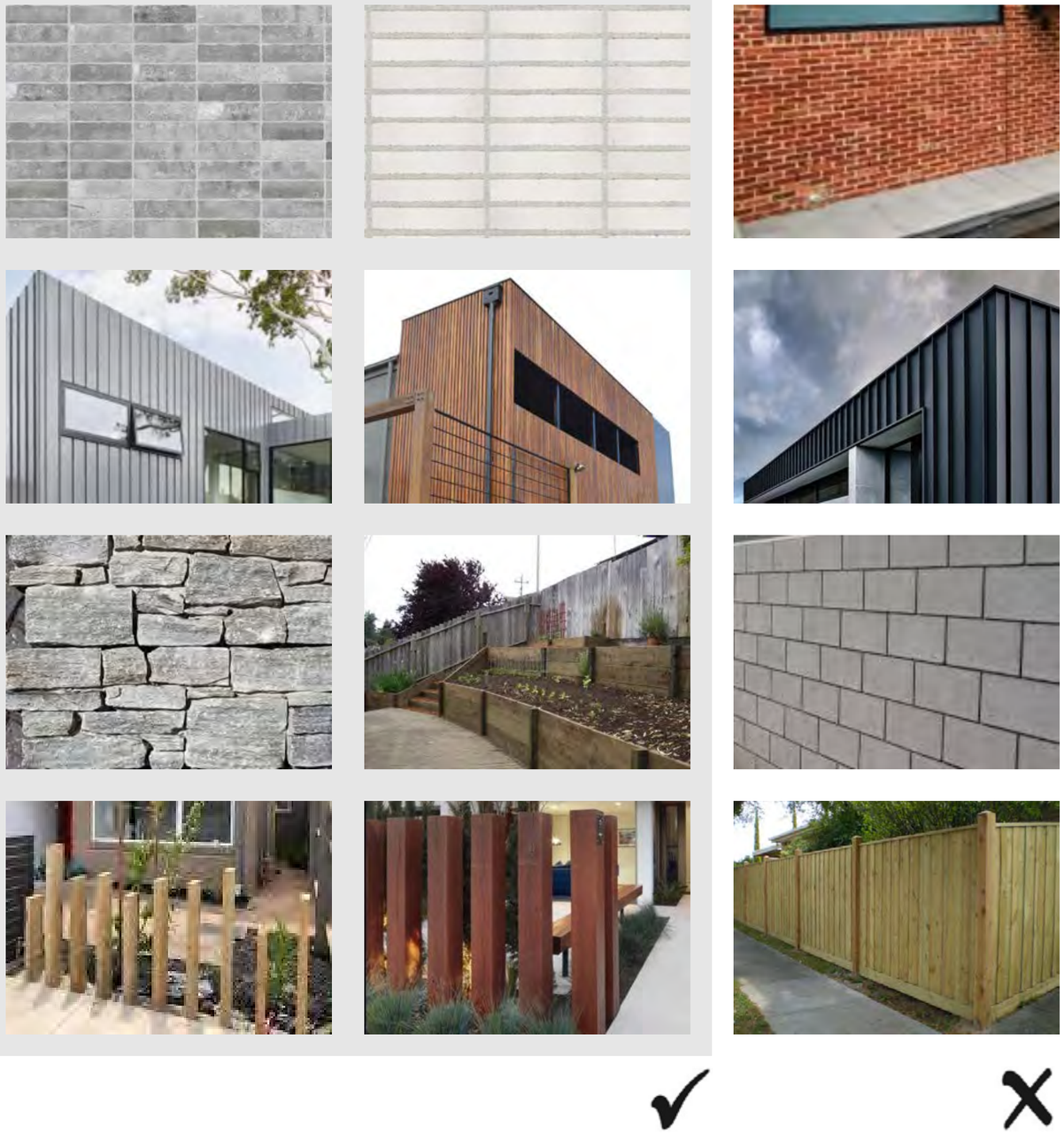
Other materials not permitted:
- Masonry - eg. concrete blocks;
- Brick - eg. traditional red.

Retaining walls:
- Timber or stone permitted - eg. no concrete blocks.

Fences:
- The use of fences is not recommended. Only use post fencing 200mm apart permitted only when required.

An external palette which adopts natural, neutral colours is required.
Reliance on external colours which are bright or draw visual attention to the building (as a result of its contrast to the surrounding environment) shall not be supported.





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PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED SINGLE DWELLING DESIGN GUIDELINES

DRAWING NUMBER
PL 26

SCALE
NOT TO SCALE

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ABN 96 630 851 930

SINGLE DWELLING LOT DESIGN GUIDELINES

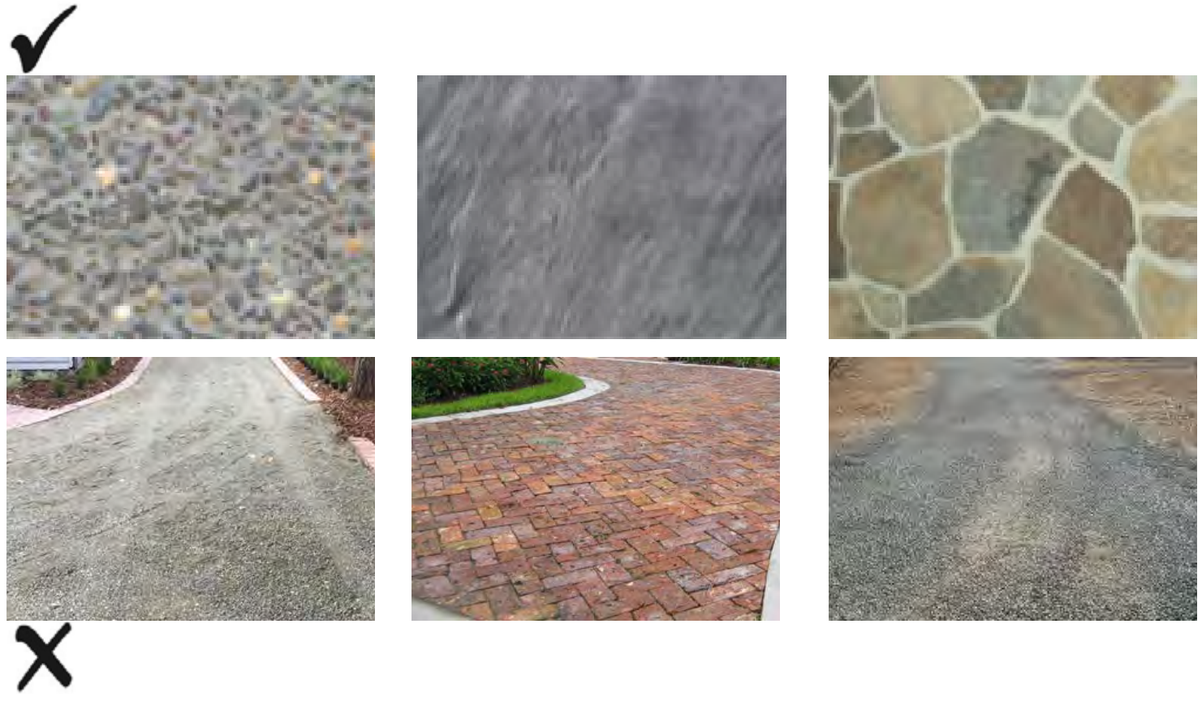
DRIVEWAYS

Driveways shall be constructed from natural or coloured concrete as a minimum standard. Pavers or exposed aggregate are encouraged.

Impermeable surfaces (e.g.compacted toppings, crushed rock,) and brick pavers are not permitted.

Driveways must taper to generally match the crossover width and must be setback at least 300mm from the closest side boundary to allow for a landscaping strip.

Driveways must be constructed prior to occupancy.



LANDSCAPING

As a result of the previous land use, the development site is mostly cleared and the existing vegetation is predominantly grasses with scattered remnant native trees.

The aim of the development is bring back the original features of the landscape which is reflected in the surrounding areas and national parks. Therefore, all landscape proposed to be native species with 50% indigenous planting.

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING DESIGN GUIDELINES

DRAWING NUMBER

PL 27

SCALE

NOT TO SCALE

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REGISTERED ARCHITECT:
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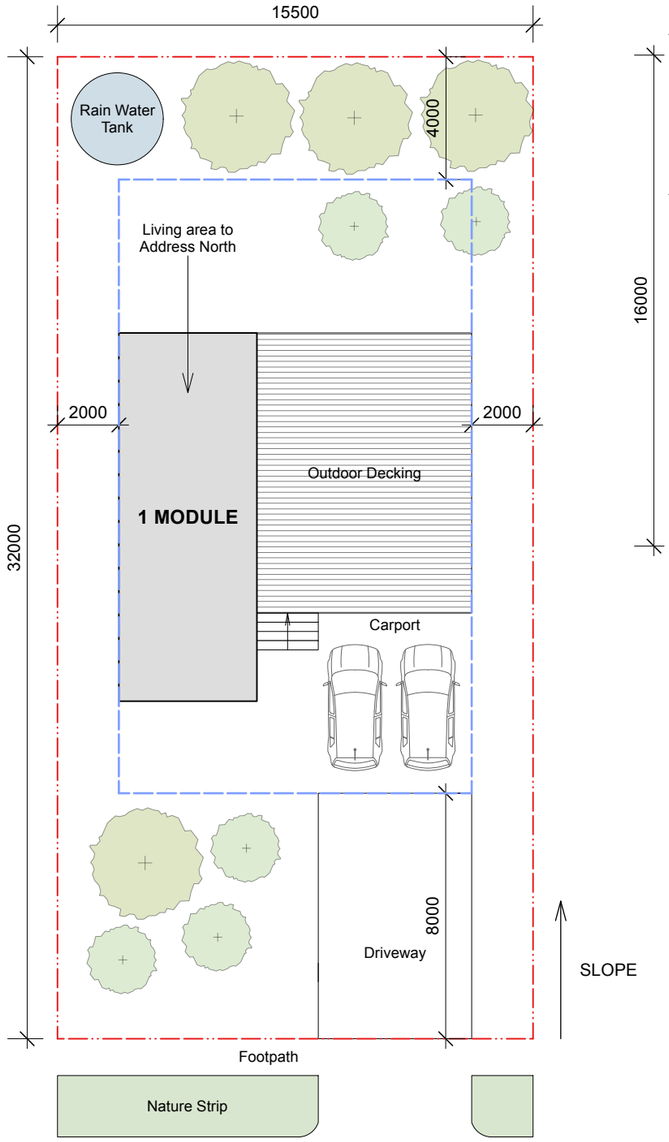
NSW 8367
UK 072397E

ABN 96 630 851 930

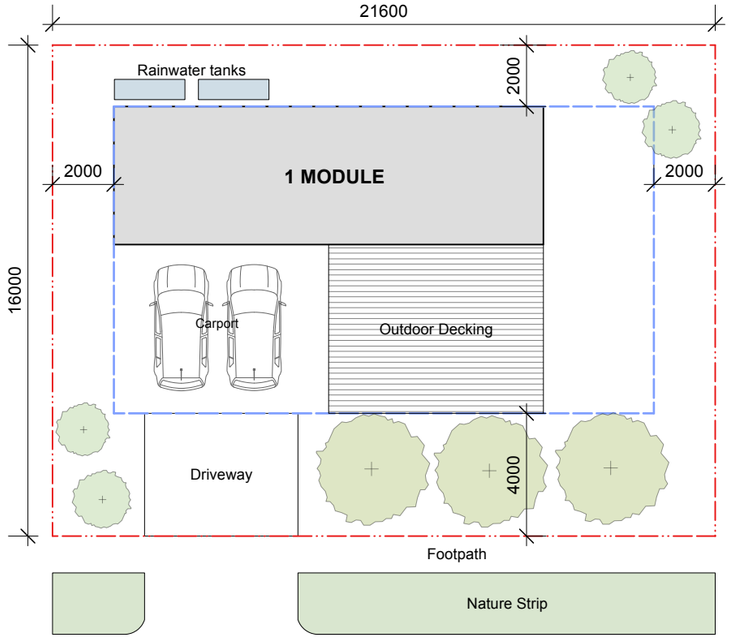
LOT SIZE 500 sqm



FOR LARGER SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 8.0m
MIN. REAR SETBACK 4.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm

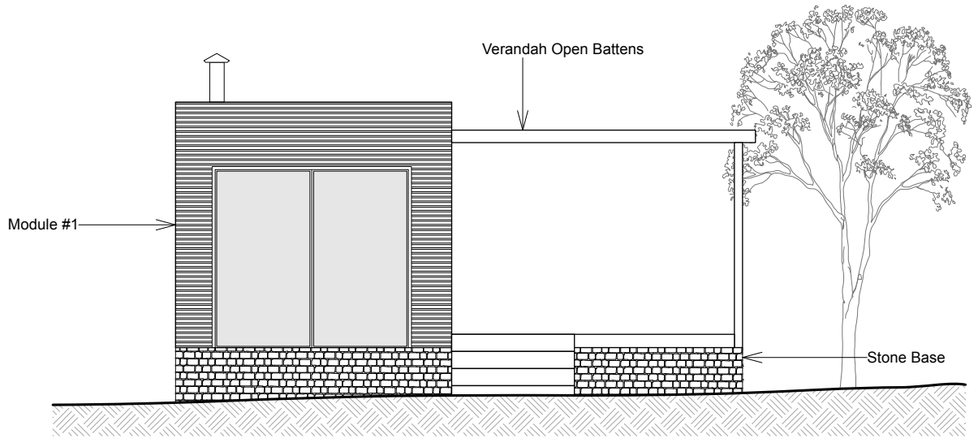


FOR SMALL SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 4.0m
MIN. REAR SETBACK 2.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

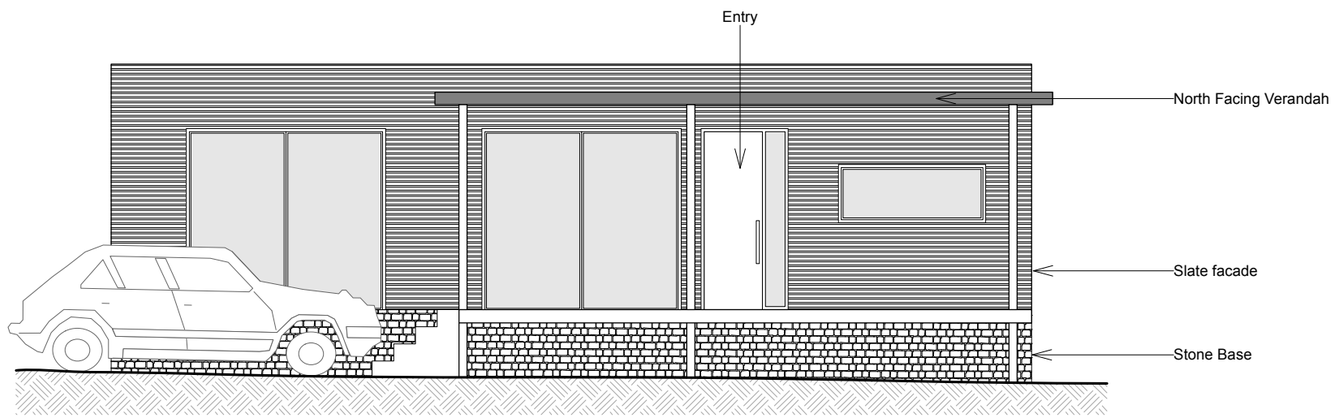
FLOOR PLAN
1.200

1 - 2 MODULE REFERENCE



ELEVATION
1.100

FLOOR PLAN
1.200



ELEVATION
1.100

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES
SMALL MODULE OPTION (1 MODULE)

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING DESIGN GUIDELINES SMALL MODULE OPTION (1 MODULE)

DRAWING NUMBER

PL 28

SCALE

1.200 | 1.100

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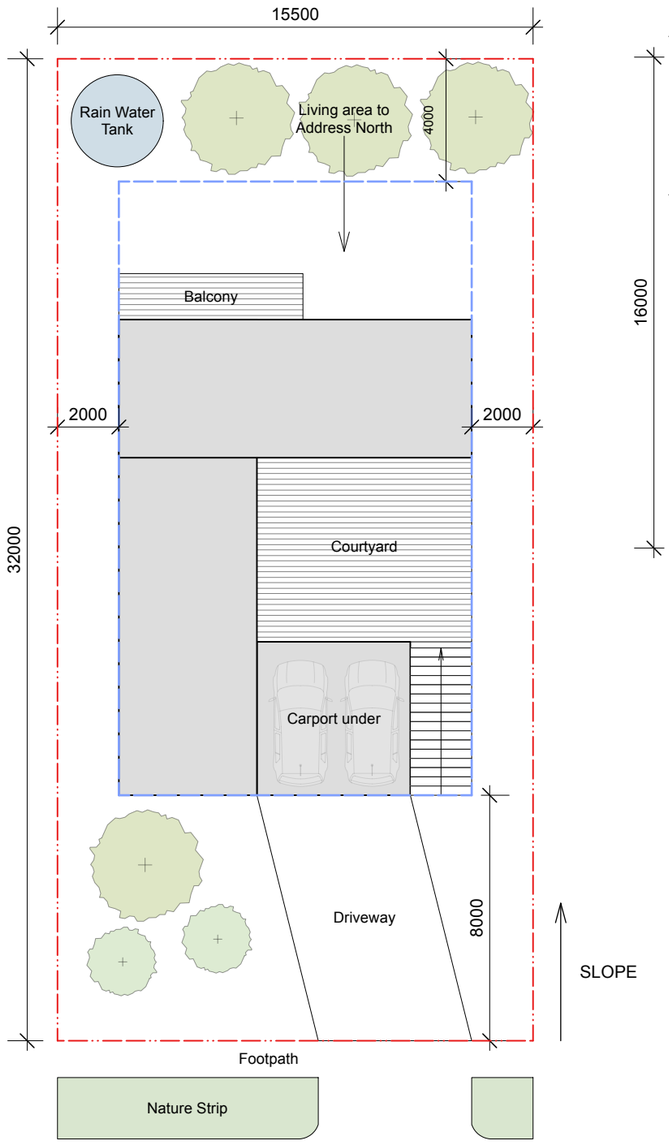
REGISTERED ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930

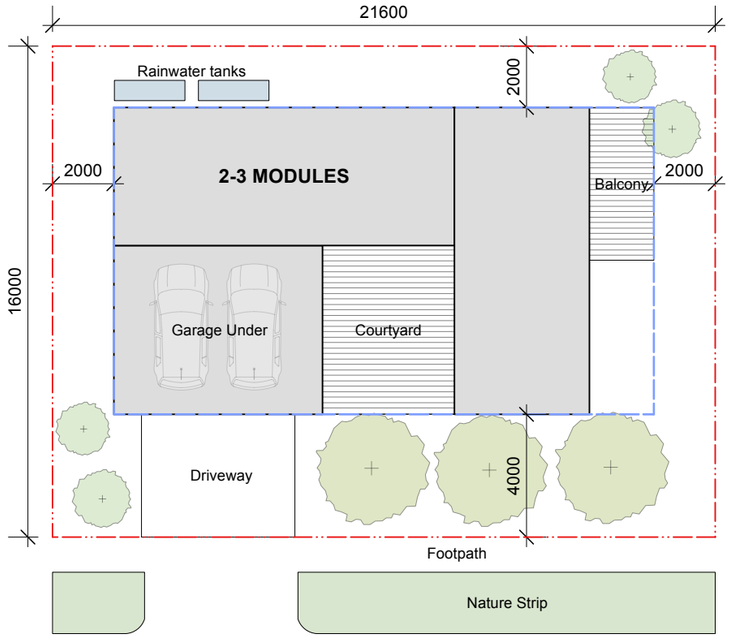
LOT SIZE 500 sqm



FOR LARGER SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 8.0m
MIN. REAR SETBACK 4.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm

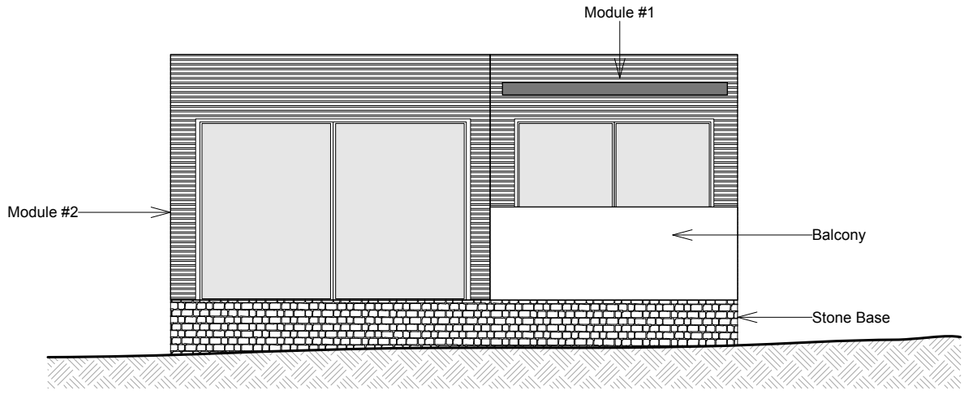


FOR SMALL SIZED LOTS

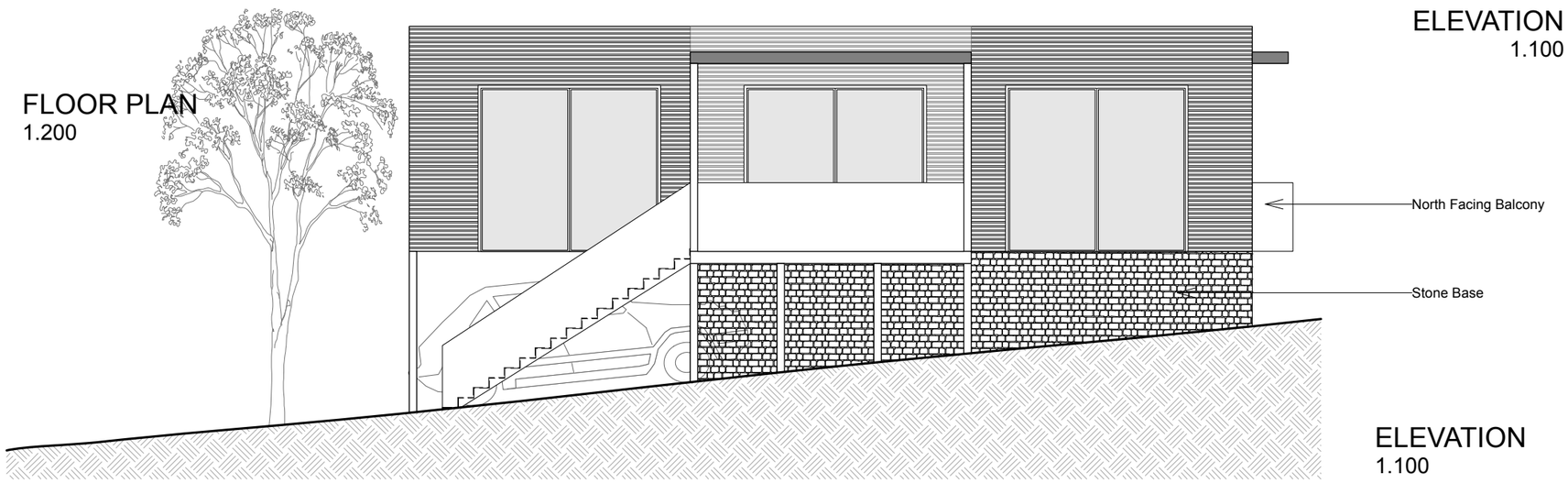
MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 4.0m
MIN. REAR SETBACK 2.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

FLOOR PLAN
1.200

2 - 3 MODULE REFERENCE



FLOOR PLAN
1.200



ELEVATION
1.100

ELEVATION
1.100

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES
MEDIUM MODULE OPTION (2 - 3 MODULES)

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED SINGLE DWELLING DESIGN GUIDELINES MEDIUM MODULE OPTION (2 - 3 MODULES)

DRAWING NUMBER
PL 29

SCALE
1.200 | 1.100

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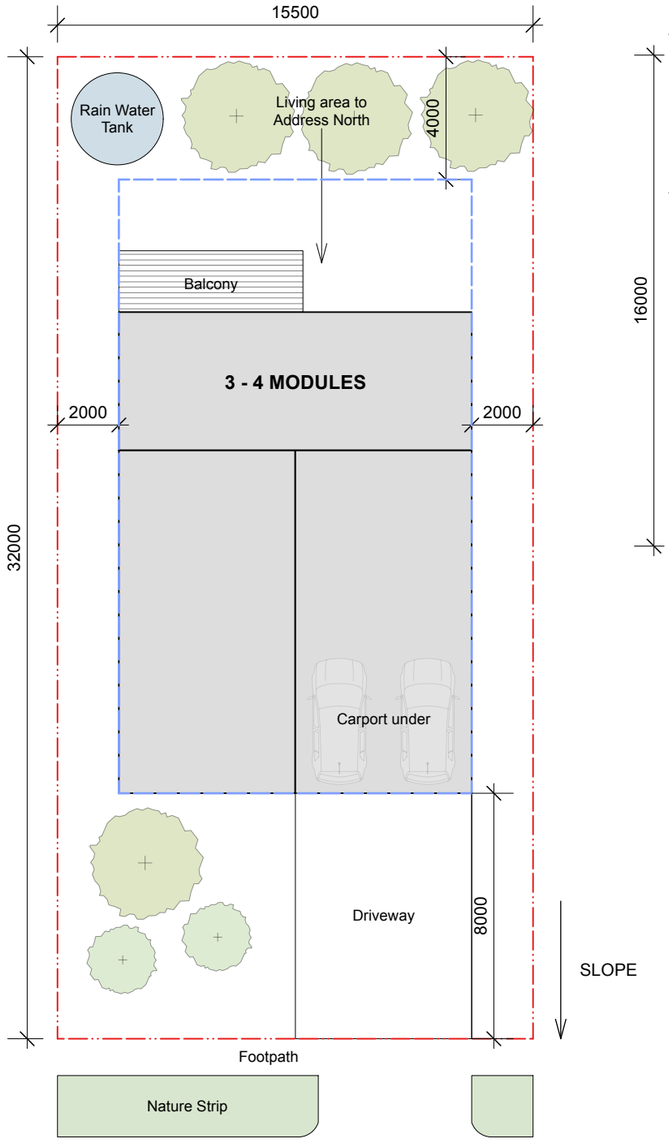
REGISTERED ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930

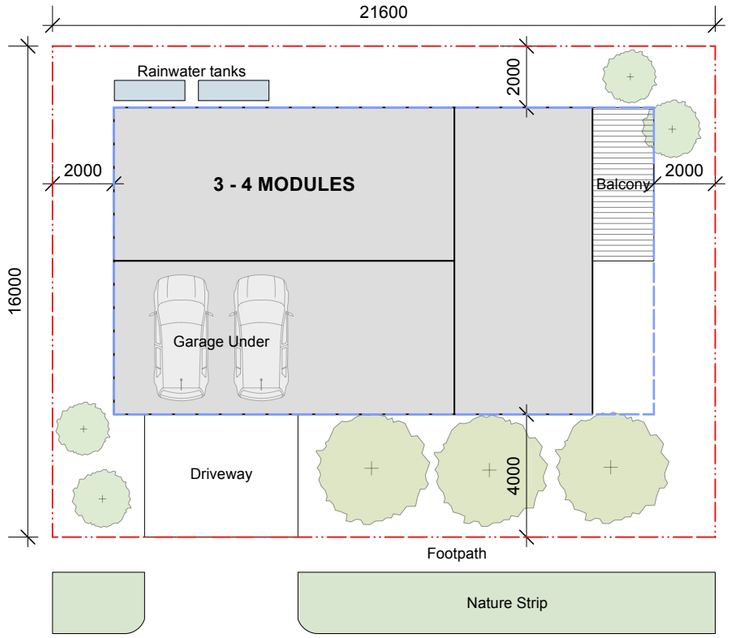
LOT SIZE 500 sqm



FOR LARGER SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 8.0m
MIN. REAR SETBACK 4.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm



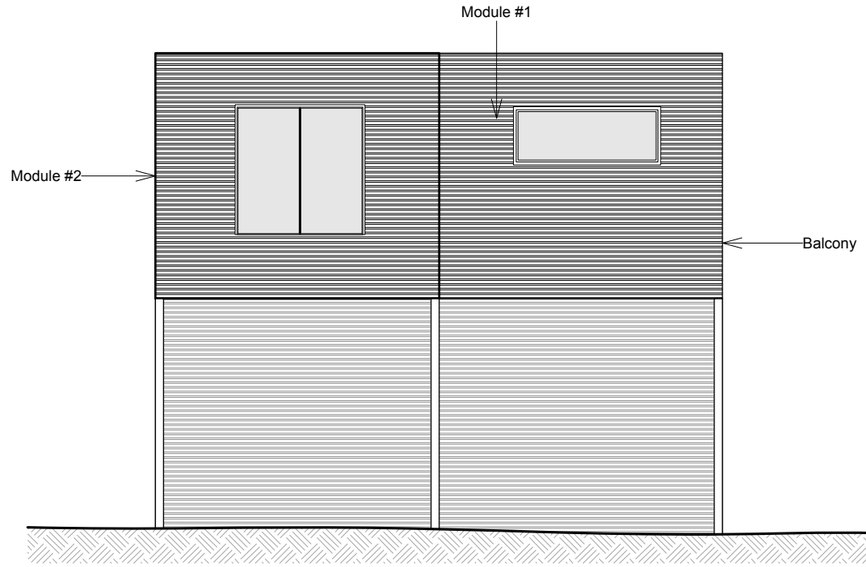
FOR SMALL SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 4.0m
MIN. REAR SETBACK 2.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

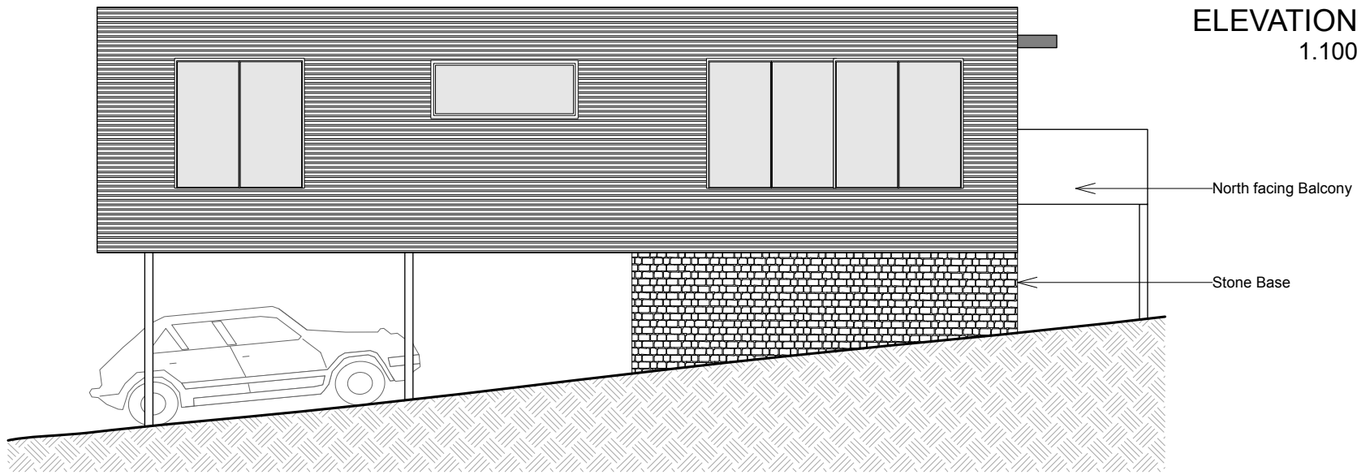
FLOOR PLAN
1.200

FLOOR PLAN
1.200

3 - 4 MODULE REFERENCE



ELEVATION
1.100



ELEVATION
1.100

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES
MEDIUM MODULE OPTION (3 - 4 MODULES)

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED SINGLE DWELLING DESIGN GUIDELINES MEDIUM MODULE OPTION (3 - 4 MODULES)

DRAWING NUMBER
PL 30

SCALE
1.200 | 1.100

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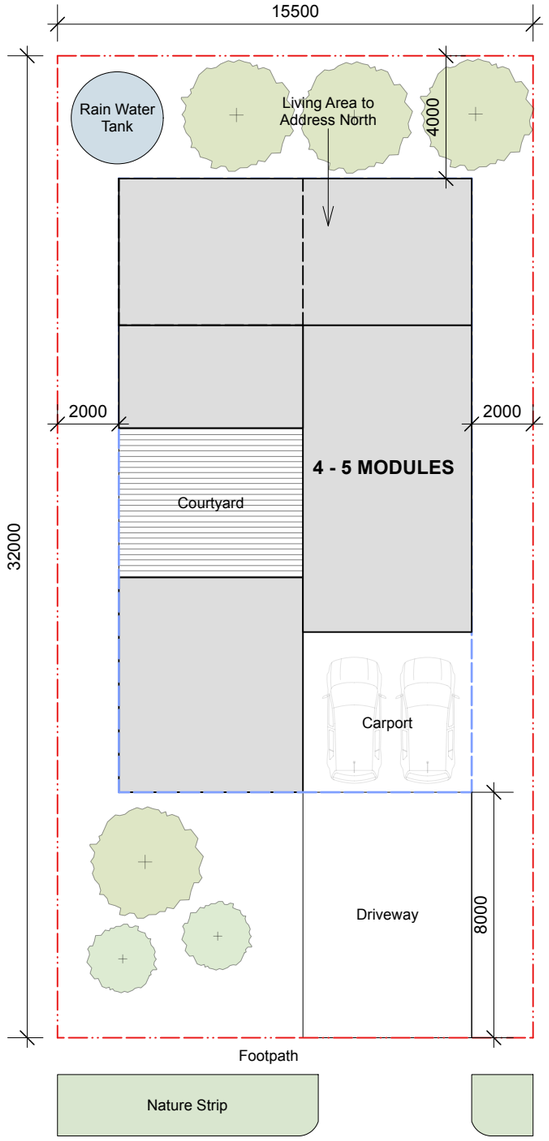
REGISTERED ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930

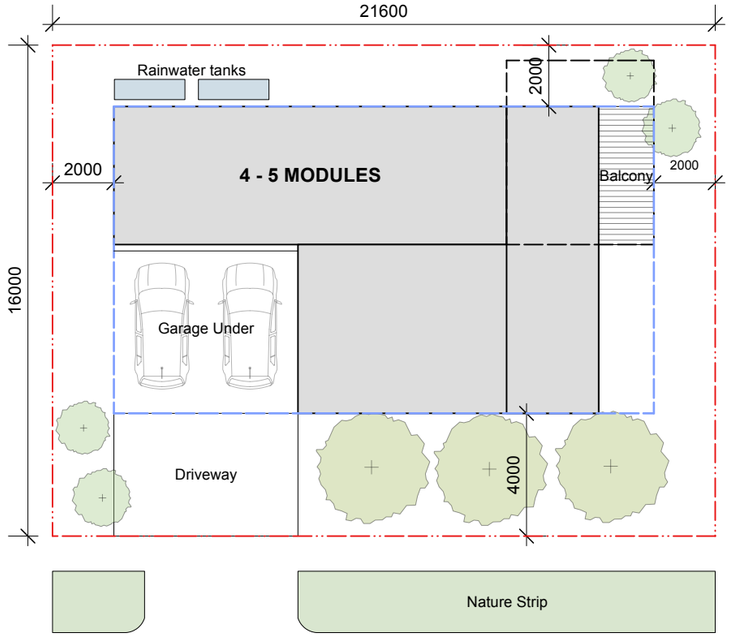
LOT SIZE 500 sqm



FOR LARGER SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 8.0m
MIN. REAR SETBACK 4.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

LOT SIZE 350 sqm

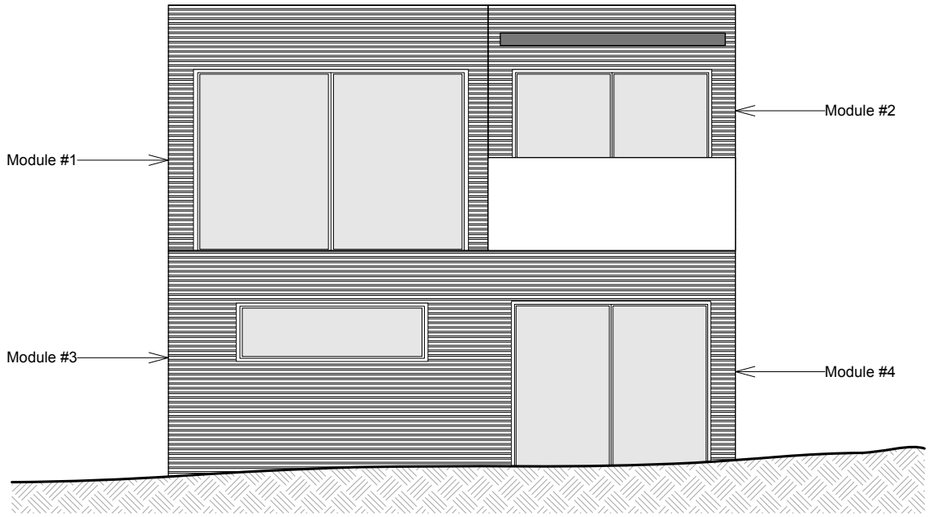


FOR SMALL SIZED LOTS

MAX. BUILDING HEIGHT 8.5m
MIN. FRONT SETBACK 4.0m
MIN. REAR SETBACK 2.0m
MIN. SIDE SETBACK 2.0m
CEILING HEIGHT MIN. 2.7m

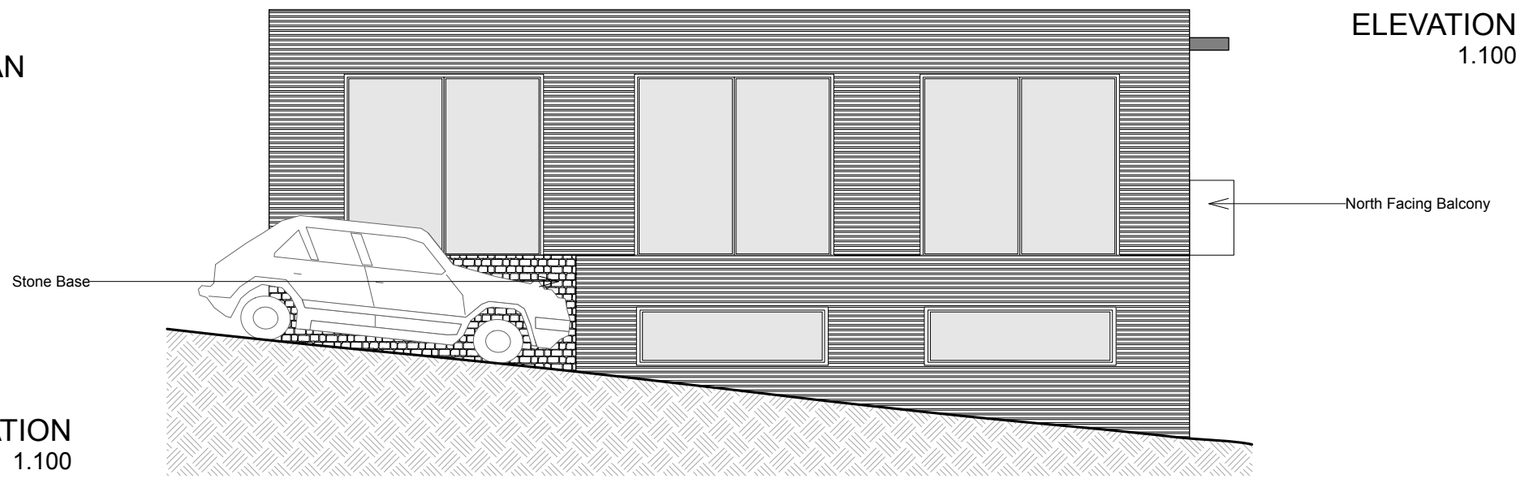
FLOOR PLAN
1.200

4 - 5 MODULE REFERENCE



ELEVATION
1.100

FLOOR PLAN
1.200



ELEVATION
1.100

PROPOSED SINGLE DWELLING
DESIGN GUIDELINES
MEDIUM MODULE OPTION (4 - 5 MODULES)

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SINGLE DWELLING DESIGN GUIDELINES MEDIUM MODULE OPTION (4 - 5 MODULES)

DRAWING NUMBER

PL 31

SCALE

1.200 | 1.100

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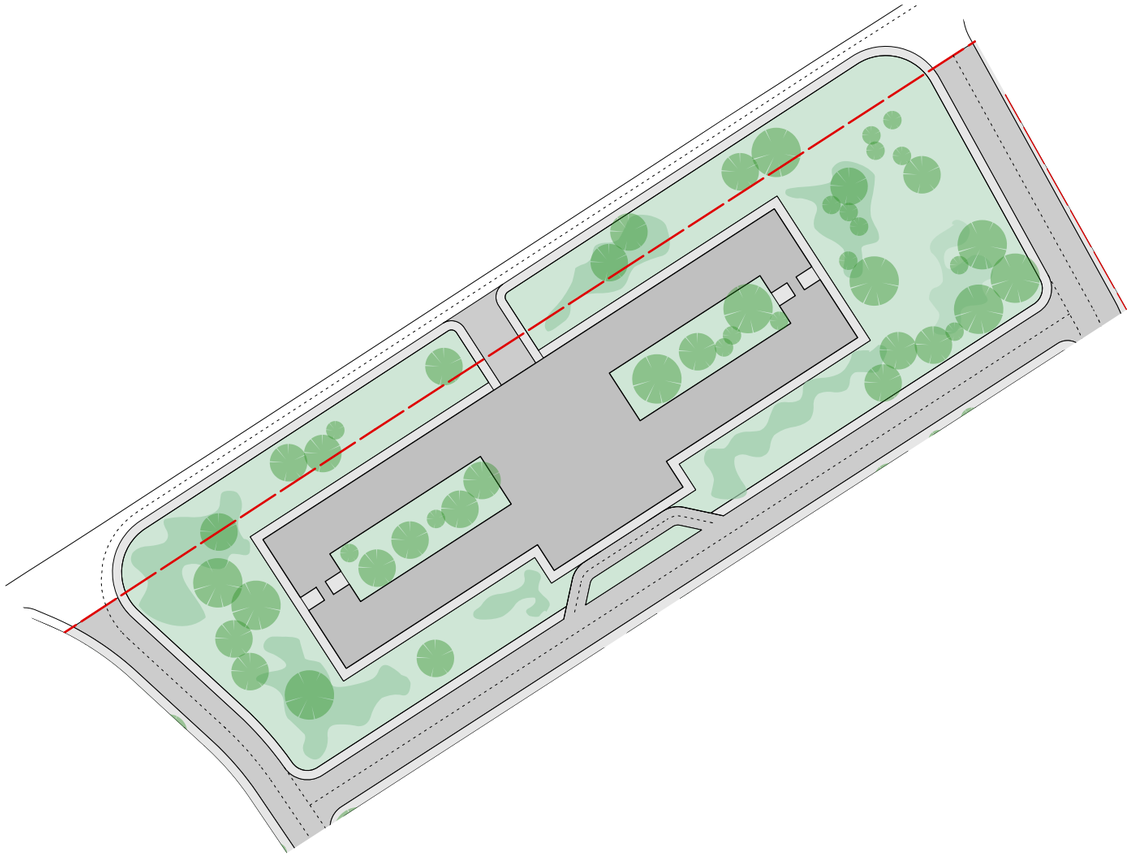
UK 072397E

ABN 96 630 851 930



PROPOSED HOTEL

View from Lake and Landing Strip

Lot 13 is the designated Hotel site, comprising 25,929 sq.m fronting Miles Franklin Drive and the Jounama Pondage.
The site is accessible from both front and rear roads.
The site will support a three level hotel with sub-basement carparking.

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL

DRAWING NUMBER

PL 32

SCALE

NTS

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ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL IMAGE 01

DRAWING NUMBER

PL 33

SCALE

NTS

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SURRY HILLS NSW 2010

18 BAY RD SANDRINGHAM VIC 3191

REGISTERED ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL IMAGE 02

DRAWING NUMBER

PL 34

SCALE

NTS

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04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL IMAGE 03

DRAWING NUMBER

PL 35

SCALE

NTS

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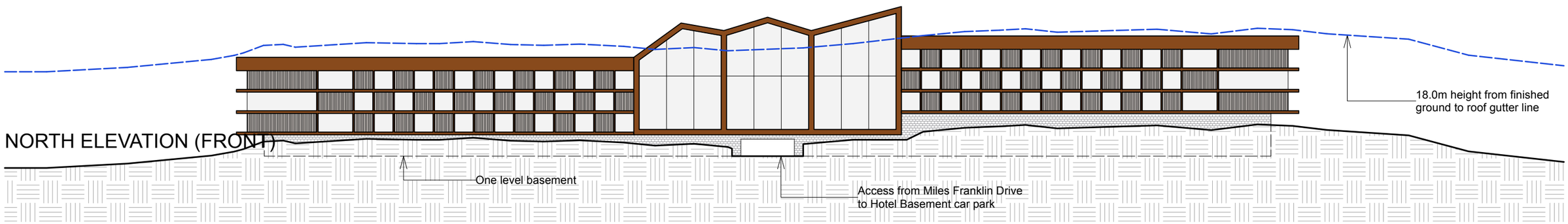
MATERIALS AND FINISHES

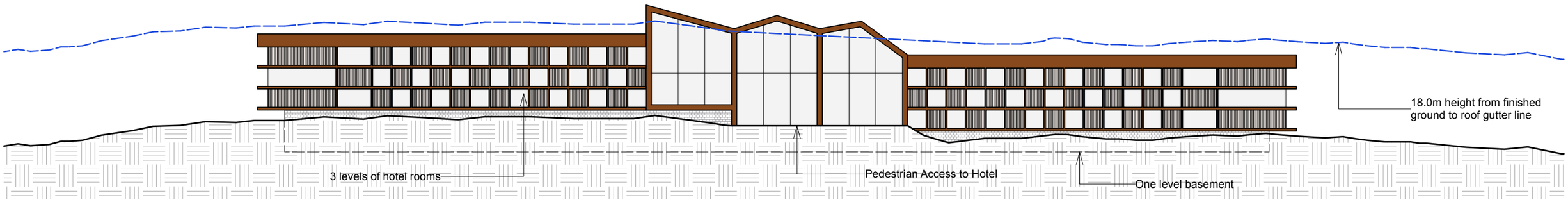
Ⓐ CORTEN STEEL CLADDING

Ⓑ THERMAL TREATED TIMBER SLATS

Ⓒ NATURAL HONED RIVERSTONE FACING



NORTH ELEVATION (FRONT)



SOUTH ELEVATION (REAR)

PROPOSED HOTEL ELEVATIONS
1.750

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DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED HOTEL ELEVATION

DRAWING NUMBER
PL 36

SCALE
1.750

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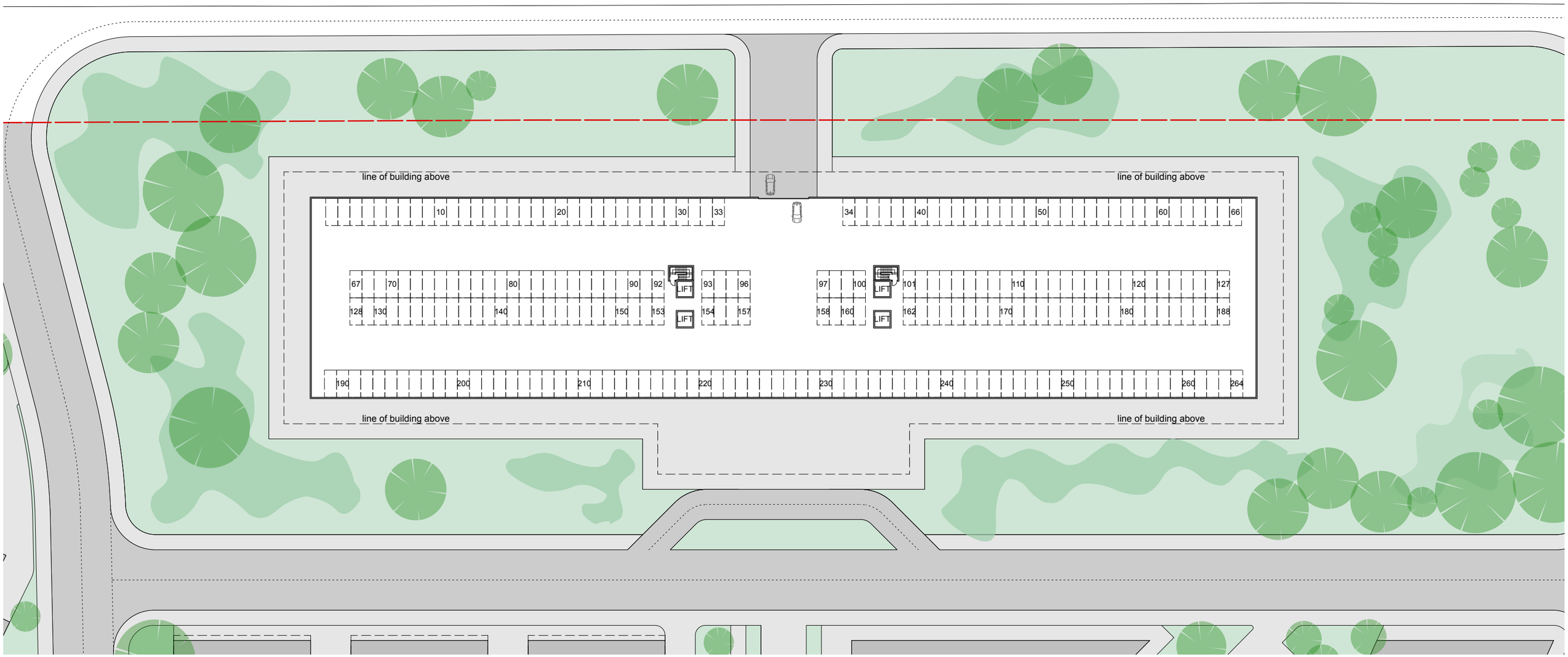

PROPOSED HOTEL GARAGE
BASEMENT FLOOR PLAN
1.750

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PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL GARAGE BASEMENT FLOOR PLAN

DRAWING NUMBER

PL 37

SCALE

1.750

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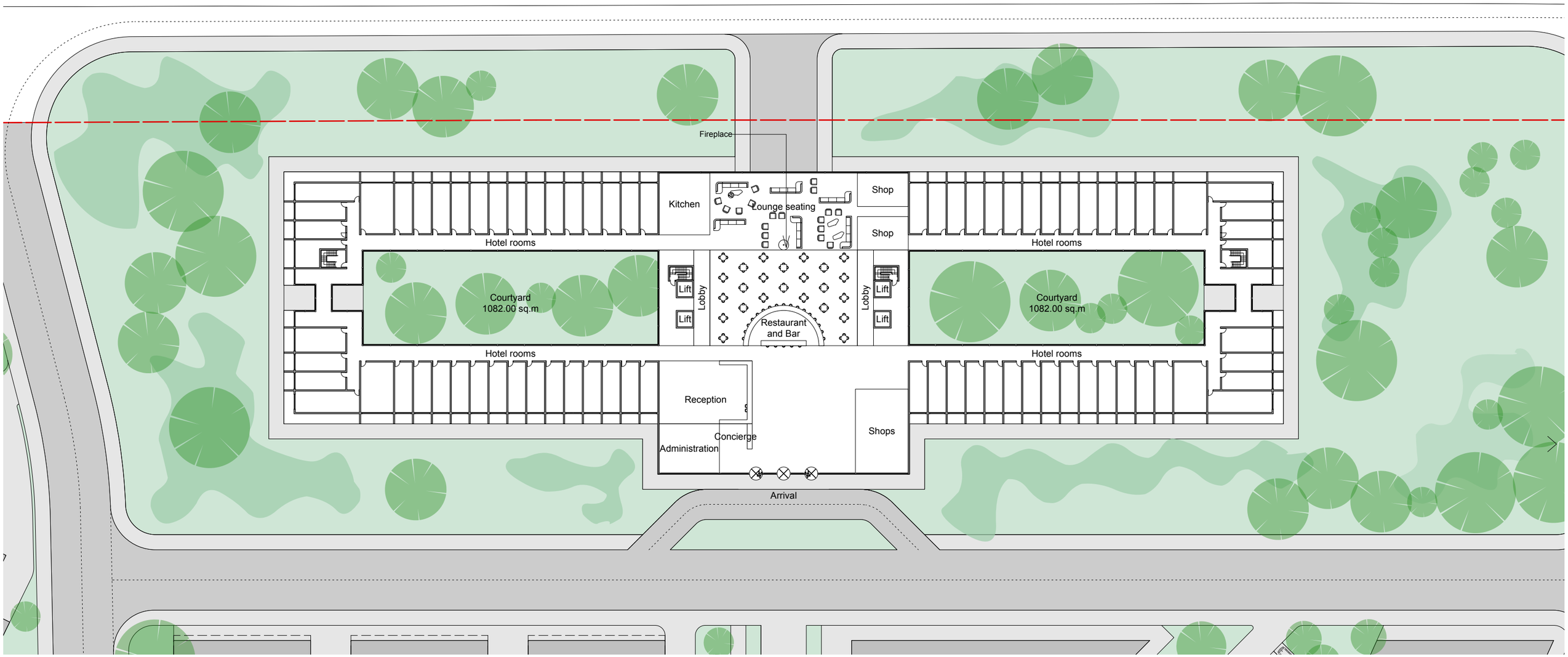

PROPOSED HOTEL GROUND FLOOR PLAN
1.750

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

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DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL GROUND FLOOR PLAN

DRAWING NUMBER

PL 38

SCALE

1.750

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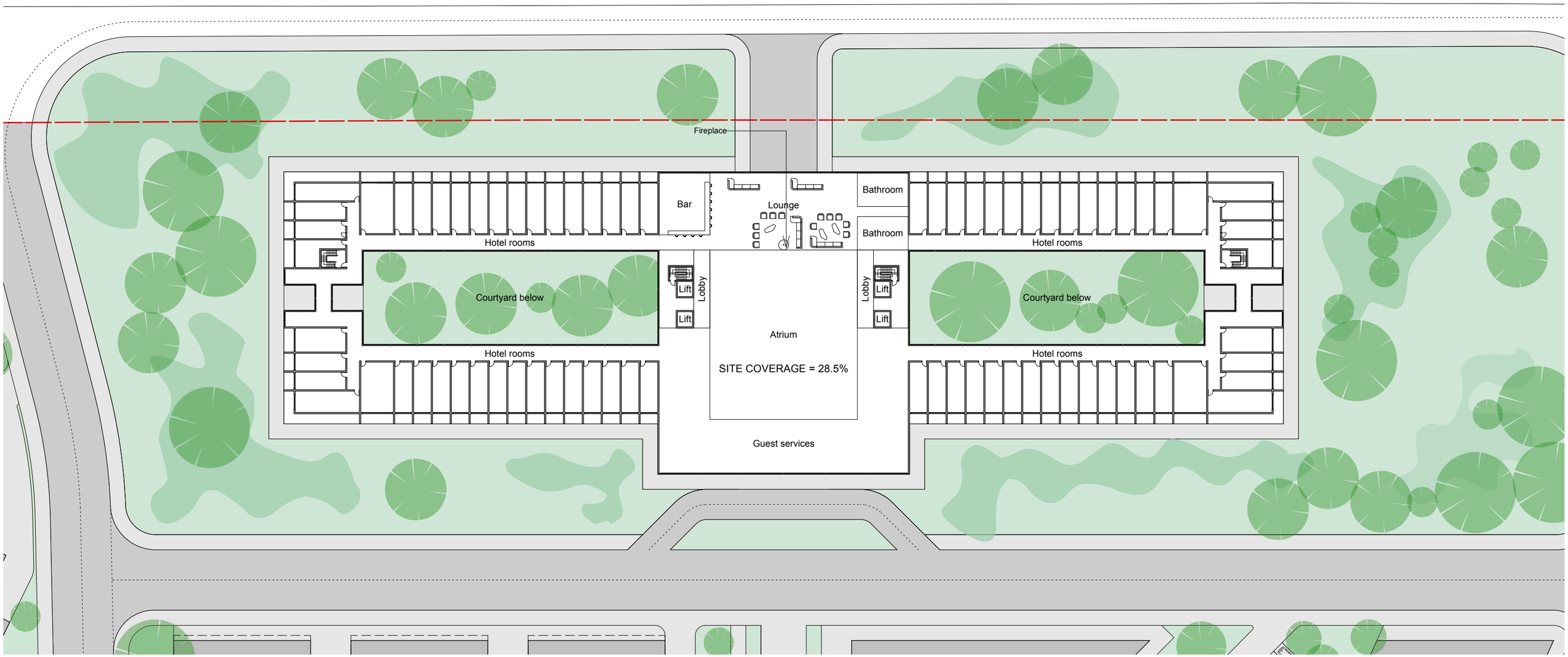
Miles Franklin Drive

Miles Franklin Drive



PROPOSED HOTEL FIRST AND SECOND FLOOR PLANS

1.750

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED HOTEL FIRST AND SECOND FLOOR PLANS

DRAWING NUMBER

PL 39

SCALE

1.750

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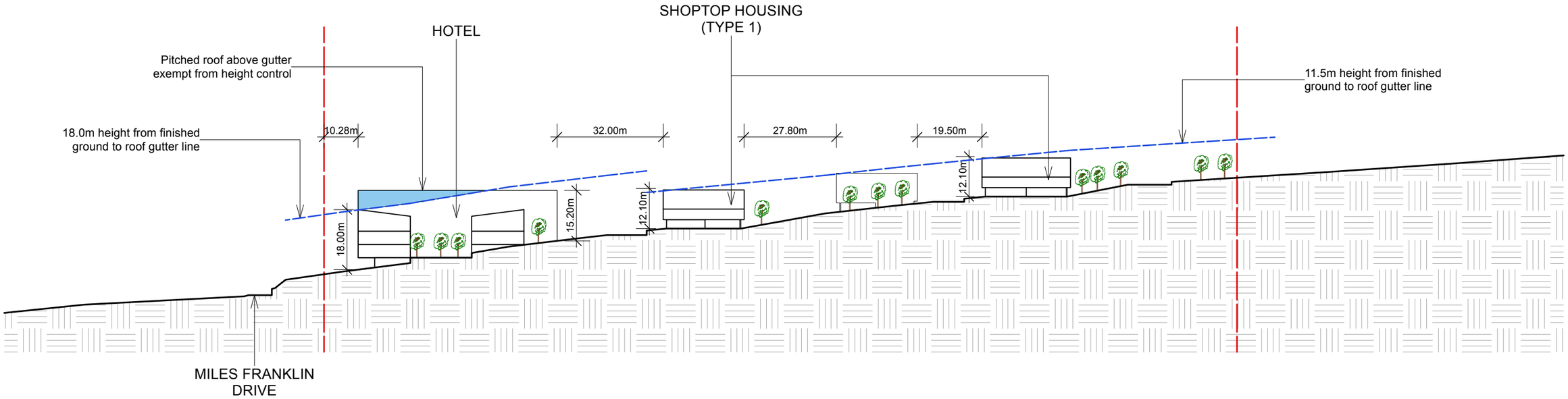

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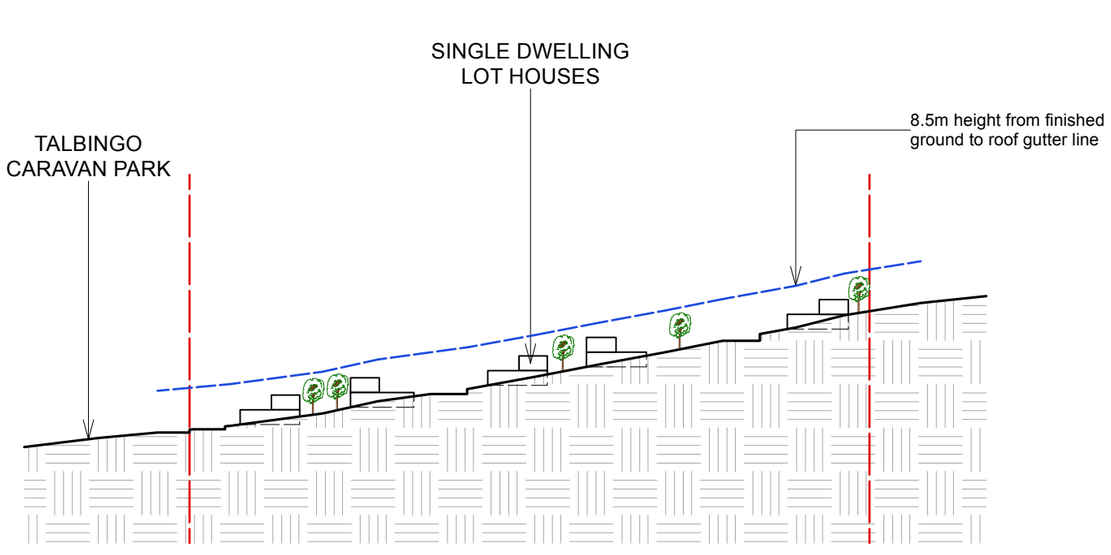

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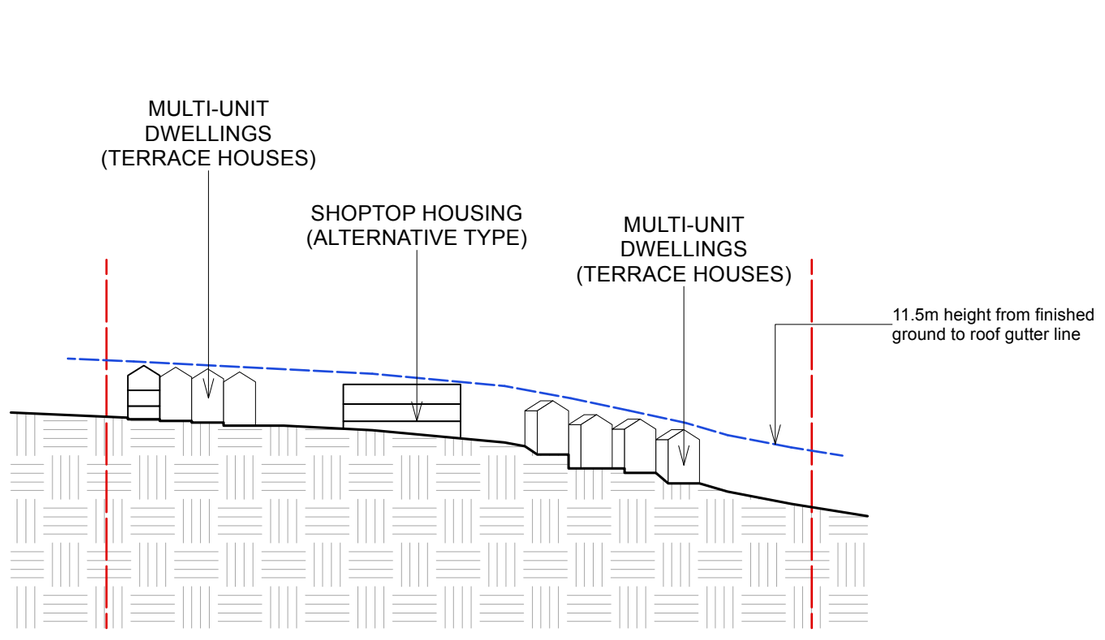

SECTION S3

PROPOSED SITE SECTIONS
1.2500

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PROJECT AND LOCATION
LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE
04 APR 23

DRAWING STAGE
MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION
PROPOSED SITE SECTIONS

DRAWING NUMBER
PL 40

SCALE
1.750

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REGISTERED ARCHITECT:
VICTORIA 14450
NSW 8367
UK 072397E

ABN 96 630 851 930

PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 9AM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 9AM

DRAWING NUMBER

SH 01

SCALE

1.2500

N

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ABN 96 630 851 930

PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 12PM
1.2500

ROBERT HARWOOD ARCHITECTS

PROJECT AND LOCATION

LOT 35 DP 878862 Miles Franklin Drive Talbingo NSW

DATE

04 APR 23

DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 12PM

DRAWING NUMBER

SH 02

SCALE

1.2500

N

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PROPOSED SHADOW DIAGRAMS
21 DECEMBER AT 3PM
1.2500

ROBERT HARWOOD ARCHITECTS

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS 21 DECEMBER AT 3PM

DRAWING NUMBER

SH 03

SCALE

1.2500

N

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PROPOSED SHADOW DIAGRAMS
21 JUNE AT 9AM
1.2500

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS 21 JUNE AT 9AM

DRAWING NUMBER

SH 04

SCALE

1.2500

N

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DRAWING NUMBER

SH 05

SCALE

1.2500

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PROPOSED SHADOW DIAGRAMS
21 JUNE AT 3PM
1.2500

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DRAWING STAGE

MASTERPLAN CONCEPT DRAWINGS

DRAWING DESCRIPTION

PROPOSED SHADOW DIAGRAMS 21 JUNE AT 3PM

DRAWING NUMBER

SH 06

SCALE

1.2500

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